

# TOWNSHIP OF LONG HILL

COUNTY OF MORRIS  
 GILLETTE, HOMESTEAD PARK, MEYERSVILLE, MILLINGTON, STIRLING

\* Edward W. Purcell, Esq. 50 Tice Boulevard, Suite 380, Woodcliff Lakes, NJ  
 07677

## APPLICATION FOR DEVELOPMENT

**PROPERTY ADDRESS** PSE&G Steel Tower #12/4-1 off of Long Hill Road

---

**BLOCK(S)** 13908                      **LOT(S)** 15.01                      **ZONE** C Conservation

---

**APPLICANT** T-Mobile Northeast LLC                      **TELEPHONE** (201)391-3737

**ADDRESS** (if different from above) c/o Price Meese, P.C. \*                      **EMAIL** epurcell@pricemeese.com

---

**PROPERTY OWNER** (if different from above) Public Service Electric & Gas Company                      **TELEPHONE** (973)430-7506

**ADDRESS** 80 Park Plaza (MC T-17), Newark, NJ 07102-4111                      **EMAIL** anthony.suppa@pseg.com

---

**ATTORNEY\*** Edward W. Purcell, Esq., Price Meese                      **TELEPHONE** (201)391-3737

\*REQUIRED for Corporations, LLC or Limited Partnerships

**ADDRESS** 50 Tice Blvd., Woodcliff Lake, NJ 07677                      **EMAIL** epurcell@pricemeese.com

---

**ENGINEER or SURVEYOR** Alec S. Norris, P.E., Maser Consulting                      **TELEPHONE** (609)605-3283

**ADDRESS** 2000 Midlantic Dr., Mount Laurel, NJ 08054                      **EMAIL** ANorris@maserconsulting.com

---

**ARCHITECT** N/A                      **TELEPHONE**

**ADDRESS**                      **EMAIL**

---

**OTHER** Timothy Kronk, P.P., TK Design Associates                      **TELEPHONE** (973)539-6110

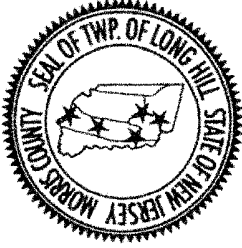
**ADDRESS** PO Box 465 Mendham, NJ 07945                      **EMAIL** tkronk@tkdesignassociates.com

**APPLICANT MUST PROVIDE AN ADDENDUM / STATEMENT OF FACTS IN SUPPORT OF THE APPLICATION.**  
 Provide written statement on a separate sheet or on the form provided stating what the Applicant is proposing to do, what variances are requested and the reasons why variances are needed.

Has there been a previous variance appeal or approval of any development application (i.e. site plan, subdivision or conditional use) involving the property?    YES     NO     *If YES, attach copies of the decisions and/or resolutions.*

Is the property in a density modification subdivision?    YES     NO

THIS BOX FOR OFFICE USE ONLY			
<b>DATE OF SUBMISSION:</b>		<b>APPLICATION NUMBER:</b>	
<b>SITE PLAN</b> _____	<b>SUBDIVISION</b> _____	<b>BULK VARIANCES</b> _____	<b>USE VARIANCE</b> _____ <b>OTHER</b> _____
<b>PLANNING BOARD</b> _____	<b>ZONING BOARD</b> _____	<b>MEETING DATE:</b>	



# TOWNSHIP OF LONG HILL

COUNTY OF MORRIS  
GILLETTE, HOMESTEAD PARK, MEYERSVILLE, MILLINGTON, STIRLING

**PROPERTY ADDRESS** PSE&G Steel Tower 12/4-1 off of Long Hill  

---

**Road** BLOCK(S) 13908 LOT(S) 15.01  
**APPLICANT** T-Mobile Northeast LLC

I affirm that all statements in this submitted application are true.

*Edward W Purcell / JB*  
*Signature of Applicant*

Edward W. Purcell, Esq.  
*Print Name*

10/14/21  
*Date*

## SUBMISSION REQUIREMENT

For all applications, **FIVE (5) COLLATED sets of all COMPLETED and SIGNED application forms** are required for submission to the Planning & Zoning Coordinator for completeness review. For any/all subsequent changes or updates to a pending application, five (5) copies are also required for resubmissions. All required documents are listed in the Application Checklists.

Once an application is deemed complete and scheduled for a hearing, fifteen (15) collated sets of the application forms must be submitted to the Planning & Zoning Coordinator for distribution to the appropriate Board.

## ESCROW DEPOSITS

In accordance with the Ordinances of the Township of Long Hill, escrow accounts are established to cover the cost of professional services including but not limited to planning, engineering, legal and other expenses associated with the review of submitted materials. If additional sums are deemed necessary, the Planning & Zoning Coordinator will notify the Applicant of the required additional amount. **Please note: without sufficient funds in an Applicant's escrow account, the review and subsequent scheduling of the application for a meeting will cease until such time that the Applicant has replenished the escrow account as per the Planning & Zoning Coordinator's request.**

Sums not utilized in the application process shall be returned upon written request by the Applicant and after verification that all Board expenses have been satisfied. A W-9 Form (Request for Taxpayer Identification Number and Certification) must be completed and submitted with any escrow deposits.



# TOWNSHIP OF LONG HILL

COUNTY OF MORRIS

GILLETTE, HOMESTEAD PARK, MEYERSVILLE, MILLINGTON, STIRLING

## ADDENDUM Statement of Facts in Support of an Application

Applicant: T-Mobile Northeast LLC

Property Address: PSE&G Steel Tower 12/4-1 off of Long Hill

Road Block: 13908

Lot(s): 15.01

Date:

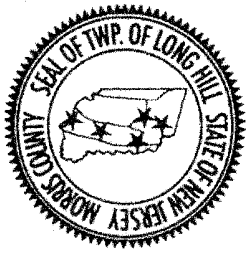
**Statement of Facts to include the following:**

- Present and/or previous use of the building(s) and premises.
- Detailed description of the proposed use.
- Detailed description of the proposed improvements to the building(s) and premises.
- What conditions are preventing the Applicant from complying with the Zoning Ordinance?
- Any other detailed information to further explain what the Applicant proposes for the building(s) and premises.

See attached addendum.







# TOWNSHIP OF LONG HILL

COUNTY OF MORRIS

GILLETTE, HOMESTEAD PARK, MEYERSVILLE, MILLINGTON, STIRLING

## INFORMATION REGARDING SOIL EROSION AND SEDIMENT CONTROL CERTIFICATION

The State of New Jersey Soil Erosion and Sediment Control Act, Chapter 261, P.L. 1975 defines a project which requires a soil erosion and sediment control certificate as "any disturbance of more than 5,000 square feet of the surface area of land:

- (1) for the accommodation of construction for which the State Uniform Construction Code would require a construction permit, except that the construction of single-family dwelling unit shall not be deemed a "project" under this act unless such unit is part of a proposed subdivision, site plan, conditional use, zoning variance, planned development or construction permit application involving two or more such single-family dwelling units,
- (2) for the demolition of one or more structures,
- (3) for the construction of a parking lot,
- (4) for the construction of a public facility,
- (5) for the operation of any mining or quarrying activity, or
- (6) for the clearing or grading of any land for other than agricultural or horticultural purposes."

Soil Erosion and Sediment Control Certifications must be obtained from:

Morris County Soil Conservation District  
Court House  
Morristown, New Jersey 07960  
Phone: (973) 285-2953 or 538-1552  
Fax: (973) 605-8195

Property Address: PSE&G Steel Tower 12/4-1 off of Long Hill Road

- X This project does not involve work for which a Soil Erosion and Sediment Control Plan Certification is required from the Morris County Soil Conservation District.

This project requires a Soil Erosion and Sediment Control Plan Certification from the Morris County Soil Conservation District. I certify that an application has been made to the Morris County Soil Conservation District for this project.

Edward W. Purcell / 10/14/21

Signature

Date

Edward W. Purcell

Print Name



# TOWNSHIP OF LONG HILL

COUNTY OF MORRIS  
GILLETTE, HOMESTEAD PARK, MEYERSVILLE, MILLINGTON, STIRLING

## DISCLOSURE OF CORPORATE OWNERS OR PARTNERS

Date: \_\_\_\_\_

Name of Applicant: T-Mobile Northeast LLC

Name of Corporation: Same

List all names of corporate stockholders or partners owning at least 10% of its stock or any class or at least 10% of the interest in the partnership, as the case may be.

<u>Name</u>	<u>Address</u>	<u>Percentage</u>
	See attached list	
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

**PLEASE NOTE:** Corporations, LLC or Limited Partnerships *must* be represented by an attorney when applying to and appearing before the Planning Board or Zoning Board of Adjustment.



**Public Service Electric and Gas Company**  
80 Park Plaza, T-17, Newark, New Jersey 07102

September 27, 2021

Long Hill Township Zoning Board of Adjustment  
Debra Coonce, Zoning Officer  
Planning and Zoning Coordinator  
915 Valley Road  
Gillette, New Jersey 07933

**UTILIZATION OF PUBLIC SERVICE ELECTRIC AND GAS (PSE&G)  
TRANSMISSION TOWERS FOR WIRELESS COMMUNICATION ANTENNA  
ATTACHMENT**

Dear Ms. Coonce:

Please be advised that PSE&G and T-Mobile Northeast LLC (T-Mobile) have entered into a Master Antenna Site License Agreement. This agreement sets the stage to provide for the use of PSE&G transmission structures to support wireless communications facilities. We believe that the utilization of existing transmission towers is a safe, economic, and aesthetically viable option to the construction of new towers in our state.

Very specifically, we have entered into a site license agreement as it relates to the facility listed below:

- PSE&G high voltage electric transmission tower 12/4-1 Roseland-Lambertville Right-of-Way
- Located near Long Hill Road
- Long Hill Township, Morris County, New Jersey

In order to assist in the permit process please allow this letter to serve as authorization that T-Mobile Northeast LLC ( T-Mobile ) has PSE&G's approval to utilize the above referenced electric transmission tower and to apply for zoning.

Should you have any questions or comments, please feel free to contact me at 201-370-5719.

Very Truly Yours,

Public Service Electric and Gas Company  
*Anthony Suppa, Jr.*  
Anthony Suppa, Jr. P.E.  
Project Manager

# APPLICATION ADDENDUM

## T-MOBILE NORTHEAST LLC

Township of Long Hill, Morris County, New Jersey  
Block 13908, Lot 15.01  
C Conservation Zone

### Application & Variances

T-Mobile Northeast LLC (“T-Mobile” or “Applicant”) is licensed by the Federal Communications Commission (“FCC”) to provide wireless telecommunications services. T-Mobile has an existing, approved and operating wireless communications facility on a Public Service Electric and Gas Company (“PSE&G”) electric transmission tower located at Block 13908, Lot 15.01 of the Township Tax Map (the “Property”) on Long Hill Road. The existing wireless communications, located on the existing tower, received a d(1) use and d(6) height variance pursuant to Resolution 98-15Z.<sup>1</sup>

This facility and others installed on similar PSE&G towers must be decommissioned due to PSE&G’s tower replacement project. T-Mobile has already obtained approvals for a temporary tower that will be used to house its facilities during the replacement project. *See* Resolution 2020-06Z. With respect to its permanent relocation back onto the new PSE&G replacement tower, T-Mobile requested and obtained zoning permit approval for same on December 1, 2020. PSE&G’s replacement tower will be located on the Property at a height of 150’. T-Mobile’s antennas will be located above the tower, at a top height of 171.5’. On August 31, 2021, Debra Coonce, the Township’s land use administrator contacted T-Mobile and requested that it appear before this Board for D(6) height variance approval with respect to its request. T-Mobile has agreed to file this application for preliminary and final major site plan approval and D(6) height variance relief under reservation of rights.

The Board’s review of this Application implicates both New Jersey State law and federal law. The relevant State law is the Municipal Land Use Law, 40:55D-1, et seq. and the most significant federal laws are the Telecommunications Act of 1996 (“TCA”), 47 U.S.C.A. §332(c) and the Public Safety Act of 1999, 47 U.S.C. §615.

Because the proposed telecommunications use is not permitted in the applicable zone, but a D(6) height variance is required, the Board should apply the same test as it would for a D(1) use variance under the Municipal Land Use Law, i.e. that the Applicant must demonstrate that there are “special reasons” for the grant of the variance and that there will not be a substantial negative impact if the variance is granted. N.J.S.A. 40:55D-70d. The “special reasons” are often referred to as the positive criteria and can be demonstrated if the use is inherently beneficial, or the site is particularly well suited for the use. In Smart SMR v. Fairlawn Bd. of Adj., 152 N.J. 309 (1998), the court held that with telecommunications facilities, an FCC license generally establishes that the use promotes the general welfare. Id. at 336. .

“To demonstrate that a site is particularly suited for a telecommunications facility, the

---

<sup>1</sup> T-Mobile’s predecessor, Omnipoint, proposed and received approvals to place its antennas 10’ above the existing 123’ PSE&G tower.

applicant initially must show the need for the facility at that location.” New Brunswick Cellular Tel. Co. v. Borough of South Plainfield Zoning Bd. of Adjust., 160 N.J. 1, 14 (1999). As will be testified to at Applicant’s hearing through expert testimony, the Property is particularly suited to meet Applicant’s coverage needs.

In addition, the Wireless Communications and Public Safety Act of 1999, was enacted “to encourage and facilitate the prompt deployment throughout the United States of a seamless, ubiquitous, and reliable end-to-end infrastructure for communications, including wireless communications, to meet the Nation’s public safety and other communications needs.” 47 U.S.C. §615. These specific public safety statutes and directives are in addition to the Telecommunications Act of 1996 which mandates that wireless carriers be allowed to construct the facilities necessary for them to provide their services. As noted by the New Jersey Supreme Court in Smart, “[r]elevant to the determination of the suitability of a telecommunications site is the Telecommunications Act’s mandate that ‘the regulation of the placement, construction, and modification of personal wireless service facilities by any State or local government or instrumentality thereof . . . shall not prohibit or have the effect of prohibiting the provision of personal wireless services.’” 152 N.J. 309 at 332 citing 47 U.S.C. §332(c)(7)(B)(i)(II).

As a result of the removal of its existing facility on the existing PSE&G tower, T-Mobile will have a significant gap in coverage and/or capacity of its network in the area surrounding the Property, which is proposed to be rectified by the collocation of the proposed permanent facility at the proposed height.

It is respectfully submitted that the Property is particularly well-suited for the proposed use. Important factors which support a grant of variance relief include the following: 1) The site is centrally located in the area of deficient coverage; 2) the Property is a large, developed, non-residential property; 3) the proposed antennas will be located on a large approved structure; 4) there is a lack of any tall structures to which the antennas could otherwise be attached; 5) there are a lack of alternative locations which are more suitable than what is proposed; and 6) there are a lack of alternative technologies which could effectively and reliably resolve the gaps in coverage.

In addition to proving the positive criteria, an applicant requesting a d(6) height variance, in an area where same is not a permitted use, must also demonstrate the negative criteria, i.e., that the variance can be granted without substantial detriment to the public good and that it will not substantially impair the intent and the purpose of the zone plan and zoning ordinance. N.J.S.A. 40:55D-70. As noted above, the proposed antennas will be located on an approved transmission tower, and will not substantially increase the height of same. The facility will be constructed in accordance with all applicable codes, operated well within applicable emissions standards and will not produce any objectionable noise, fumes, glare, traffic or other adverse elements. As a result, the facility will not have a significant negative aesthetic impact on the surrounding community. The equipment compound required to house the radio equipment will be located at the base of the tower, within a fenced compound to keep it out of public view.

The courts have found that heights such as the one proposed do not substantially impact the community. For instance, in Sprint Spectrum L.P. v. Upper Saddle River, 352 N.J. Super. 575 (App. Div. 2002), the applicants proposed a 155-foot-tall tower within 33.5 feet from the nearest private residence. Id. At 583. In NY SMSA v. Mendham, 366 N.J. 141 (App. Div.), a 148-foot tall tower was proposed on a residential property. Id. at 147. In Smart, a 90-foot tower was replaced by a 140-foot tower adjacent to a residential zone, which the Supreme Court referred to as “merely a 50-foot increase in height.” 152 N.J. at 333. In Kingwood Tp. Volunteer Fire Co. v. Board of Adjustment, 272 N.J. Super. 498, 509 (1993), the court held that the replacement of a 75-foot tower with a 197-foot tower would impose, at most, minimal intrusion on the surrounding community. Here, T-Mobile proposes to install its antennas onto a 150’ transmission tower and increase the height of same to 171.5’.

It is therefore clear that the proposed facility, if approved, would not have a negative impact on the public good, or the intent and purpose of the zone plan and zoning ordinance. Based on the lack of alternative locations, the Property is the most appropriate location for the proposed use as it will allow T-Mobile to address its network deficiencies and meet its service goals without causing a substantial negative impact on the community.

In addition to prohibiting the provision of wireless service, the TCA sought to correct the “impediments imposed by local governments upon the installation of facilities for wireless communications, such as antenna towers.” City of Rancho Palos Verdes, Cal. v. Abrams, 544 U.S. 113, 115 (2005). To reduce these impediments, Congress enacted Section 332(C)(7) of the TCA, striking a balance between federal and state power over wireless facility siting. This section imposes important limits on the authority of state and local governments over wireless facility siting. The Supreme Court has described the limitations on state and local authority as follows:

Under this provision, local governments may not . . . take actions that ‘prohibit or have the effect of prohibiting the provision of wireless services,’ § 332(c)(7)(B)(i)(II) . . . . They must act on requests for authorization to locate wireless facilities “within a reasonable period of time,” § 332(c)(7)(B)(ii), and each decision denying such a request must “be in writing and supported by substantial evidence contained in a written record,” § 332(c)(7)(B)(iii). Id. at 116.

The Federal Communications Commission (“FCC”) recently clarified that “that a state or local legal requirement constitutes an effective prohibition if it “materially limits or inhibits the ability of any competitor or potential competitor to compete in a fair and balanced legal and regulatory environment.” Declaratory Ruling & Third Report & Order, FCC 18-133, ¶35 citing California Payphone, 12 FCC Rcd at 14206, para. 31. The FCC explained that “[t]his test is met not only when filling a coverage gap but also when densifying a wireless network, introducing new services or otherwise improving service capabilities.” Id. at ¶37 (internal citations omitted). The FCC expressly rejected “[d]ecisions that have applied solely a “coverage gap”- based approach under Section 332(c)(7)(B)(i)(II) reflect both an unduly narrow reading of the statute and an outdated view of the marketplace.” Id. at ¶40 (internal citations omitted). A land use board will effectively prohibit under this “materially inhibit”

standard if the Applicant demonstrates that it has service goals that are not being met in the area and the proposed facility address the identified issues.

Notwithstanding the foregoing and without waiving any rights to advance the FCC's "definitive interpretation of the effective prohibition standard," the Applicant will also demonstrate that it meets the applicable showing under the narrower significant gap test rejected by the FCC. Under that test a land use board will effectively prohibit the provision of wireless services where the carriers demonstrate that (1) its facility will fill a significant gap in service, and (2) the manner in which it proposes to fill the significant gap in service is the least intrusive method of doing so. APT Pittsburgh Ltd. v. Penn Twp. Butler Cnty. of Pennsylvania, 196 F.3d 469, 480 (3d Cir. 1999); see also, New York SMSA LTD v. Township of Mendham Zon. Bd. of Adjust., 366 N.J. Super. 141 (App. Div. 2004). As will be further supplemented and explained during the hearing, T-Mobile has a significant gap in the coverage and/or available capacity of its network in the area and that the proposed facility is the least intrusive method of addressing the gap and that no alternative technologies exist that could do so.

Unfortunately, even with passage of Section 332(c)(7), and implementing FCC regulations, wireless companies have continued to face long delays in deployment of wireless facilities because of systematic impediments to local zoning approval. See, e.g., City of Arlington, Tex. v. FCC, 133 S. Ct. 1863, 1867 (2013) (noting that the FCC has found that "the record of evidence demonstrates that unreasonable delays in the personal wireless service facility siting process have obstructed the provision of wireless services" and that such delays "impede the promotion of advanced services and competition that Congress deemed critical in the [TCA].") (quoting In re Petition for Declaratory Ruling, 24 FCC Rcd. 13994, 14001)). As a result, the FCC has determined that a presumptively reasonable period of time to review an application that involves the construction of a new tower is 150 days. As a result, there is a 120-day deadline for action by the Board under the New Jersey Municipal Land Use Law and a 150-day deadline for action under the TCA.

### **Conclusion.**

T-Mobile will have a significant gap and other deficiencies in its network as a result of the decommissioning of its existing facility, located upon a PSE&G transmission tower. It will be demonstrated that the replacement facility on an approved transmission tower is the most effective means of addressing those deficiencies. The proposed collocated facility is also the least intrusive method of providing the needed service. For these reasons and those to be adduced during the public hearing, T-Mobile respectfully requests that the Board act favorably upon this application.

### **Waivers**

Due to the tight time frame whereby T-Mobile must receive these approvals, Applicant requests waivers from the following checklist items:

- Item 8, landscaping and wooded areas on plans and landscaping plan requirements (PW);
- Item 14, flood damage prevention ordinance information;
- Item 19, site plan legend;
- Item 29, watercourses, railroads, etc. on plans;

Item 30, information required to assess conformance with the critical area requirements of Section 142;

Item 31, map noting the location of all critical areas;

Item 32, hydrological calculations;

Item 35, rapid access key boxes;

Item 41, calculations verifying suitable capacity of proposed pipes, swales, and other drainage features;

Item 44, staging plan;

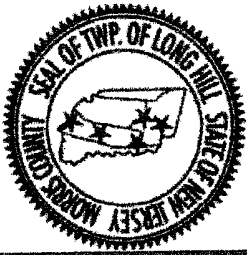
Item 46, off street parking and loading locations;

Item 49, plans, profiles, cross-sections and construction details, etc. of streets abutting the tract and other similar information;

Item 50, subdivision plat; and

Item 52, engineering data.





# TOWNSHIP OF LONG HILL

COUNTY OF MORRIS  
GILLETTE, HOMESTEAD PARK, MEYERSVILLE, MILLINGTON, STIRLING

## APPLICATION FOR DEVELOPMENT CHECKLIST A

Applicant: New Cingular Wireless PCS, LLC ("AT&T")										Property Address: Long Hill Road							
Owner: Public Service Electric and Gas Company										Block: 13908		Lot(s): 15.01		Zone: C			
Project Name: PSE&G Long Hill I Relo Site ID# NWL02408										Application #:			Date:				
SUBMISSION REQUIREMENTS											STATUS		NOTES / LAND USE ORDINANCE REFERENCE				
ITEM #	SITE PLAN WAIVER		PLANNING BOARD OR ZONING BOARD of ADJ						ZONING BOARD			C = Complies		W = Waiver			
			MINOR		MAJOR		VARIANCES 40:55D-70			APPLICANT	TOWNSHIP						
			SUBDIVISION	SITE PLAN	SUBDIVISION	SITE PLAN	SUBDIVISION	SITE PLAN	a			b		c	d		
1	X	X	X	X	X	X	X	X	X	X	X	X	X	Five (5) copies of the completed and signed application forms and proof of payment of all required fees.	<input checked="" type="checkbox"/>		
2	X	X	X	X	X	X	X	X	X	X	X	X	X	Where waiver(s) from the requirements of the Township of Long Hill Checklist are required for an application, a brief statement explaining the justification for each waiver.	<input checked="" type="checkbox"/>		
3	X	X	X	X	X	X	X	X	X	X	X	X	X	Certification from the Township Tax Collector that all taxes and assessments are paid to date.	<input checked="" type="checkbox"/>		
4	X	X	X	X	X	X	X	X	X	X	X	X	X	Verification of denial by the Zoning Officer or Construction Official of the intended use, occupancy and/or construction.	<input checked="" type="checkbox"/>		
5	X	X	X	X	X	X	X	X	X	X	X	X	X	Any protective covenants or deed restrictions applying to the land being developed shall be submitted with the application and/or indicated on the submitted plan.	<input checked="" type="checkbox"/>		
6	X	X	X	X	X	X	X	X	X	X	X	X	X	Zoning information, including zone classification, and all area and bulk requirements with a zoning table showing a comparison to the proposed development; and all dimensions and other site data needed to insure conformity with the Township of Long Hill Land Use Ordinance. Front, rear and side yard setback lines shall be depicted graphically on the plan.	<input checked="" type="checkbox"/>		
7	X	X	X	X	X	X	X		X	X				A Boundary and Existing Conditions Survey. Data to include, but not limited to Block/Lot number(s), the location of existing and proposed property lines, lot areas, lot dimensions, structures, easements, and other features and details as required by the laws governing the preparation of surveys in the State of NJ.	<input checked="" type="checkbox"/>		
8	X	X	X	X	X	X	X		X	X				All existing and proposed wooded and landscaped areas and proposed buffering and screening, identifying all trees over ten (10) inches in diameter, except that where trees are in mass, only the limits thereof need be shown. A landscaping plan including details as to the size, number, location and type of vegetation and method of planting to be use.	<input type="checkbox"/>	W	

Application #: \_\_\_\_\_

TOWNSHIP OFFICES - 915 VALLEY ROAD, GILLETTE, NJ 07933  
973-647-8000 / [www.longhillnj.gov](http://www.longhillnj.gov)

SUBMISSION REQUIREMENTS (Continued)											STATUS		NOTES / LAND USE ORDINANCE REFERENCE	
ITEM #	SITE PLAN WAIVER	PLANNING BOARD OR ZONING BOARD of ADJ						ZONING BOARD			ITEM DESCRIPTION	C = Complies		
		MINOR			MAJOR			VARIANCES 40:55D-70				W = Waiver		
		SUBDIVISION	SITE PLAN	SUBDIVISION	SITE PLAN	SUBDIVISION	SITE PLAN	a	b	c		d		APPLICANT
													PRILIM	
9		X	X	X	X	X	X	X	X	X	Five (5) copies of requisite plans prepared, signed and sealed by a NJ Licensed professional in compliance with N.J.A.C. 13:40-7.1 et sec. folded with title block exposed to view. Drawings shall be no larger than 24"x36". Title block in accordance with the rules governing the title blocks for professional engineers and land surveyors including: Name of Applicant, Township of Long Hill and Morris County with each sheet specifically titled with appropriately descriptive words. Name, title, address and license number of the professional or professionals who prepared the plan. Written and graphic scale. Date of original drawing and a list of specific revisions and dates.	<input checked="" type="checkbox"/>		
10		X	X	X	X	X	X	X	X	X	The names, lot and block numbers of all property owners within two hundred (200) feet of the extreme limits of the tract as shown on the most recent tax list prepared by the Township Tax Assessor shown on the plan.	<input checked="" type="checkbox"/>		
11	X	X	X	X	X	X	X		X	X	For applications involving signs: a sign application; the location of existing and proposed signs; scale drawings of all proposed signage; a summary of the dimensions and area of all existing and proposed signs; and other plan notes indicating sign materials, lighting, landscaping and all other information needed to review the application.	N/A	<input type="checkbox"/>	
12		X	X	X	X	X	X		X	X	Proof of submission to the Morris County Soil Conservation District as applicable.	<input checked="" type="checkbox"/>		
13		X	X	X	X	X	X		X	X	A completed Township soil erosion and sediment control certification form as may be required.	N/A	<input type="checkbox"/>	
14		X	X	X	X	X	X		X	X	Any information required by Ordinance Chapter 143 - Flood Damage Prevention Ordinance, including an application for Development Permit if applicable.	W	<input type="checkbox"/>	
15		X	X	X	X	X	X		X	X	Plan information for a Tree Removal Permit.	N/A	<input type="checkbox"/>	
16		X	X	X	X	X	X		X	X	Photograph of photographs showing the property as it currently exists and all structures thereon.	<input checked="" type="checkbox"/>		
17		X	X	X	X	X	X		X	X	Proof of approval or proof of submission for approval, to Long Hill Board of Health and/or other agency of jurisdiction approval for any application proposing, or potentially requiring modification to a septic system.	N/A	<input type="checkbox"/>	
18		X	X	X	X	X	X		X	X	A listing of approvals required by other governmental agencies, and completed copies of applications made to any other governmental agency with jurisdiction over the application and/or status reports of said applications.	<input checked="" type="checkbox"/>		
19		X	X	X	X	X	X		X	X	The following legends on any site plan or subdivision plan: (a) Owner Consent Legend; (b) Site Plan / Subdivision Identification Legend; (c) Plan Preparer Legend; (d) Board Approval Legend; (e) Township Engineer Legend; (f) Township Clerk Legend; and (g) Certificate of Occupancy Legend. Legends found at the end of this Ordinance Section.	W	<input type="checkbox"/>	
20		X	X	X	X	X	X		X	X	Owner/Applicant information on plan, including name, title, address and telephone number. If Owner/Applicant is a corporation or partnership, the names and addresses of all shareholders owning ten (10) percent or more of any class of stock of the corporation must be shown.	<input checked="" type="checkbox"/>		
21		X	X	X	X	X	X		X	X	A key map showing the entire tract and its relation to the surrounding area, including at least one roadway intersection, and including all zone district boundaries within 200' of the property at a scale of one (1) inch equals not more than five hundred (500) feet.	<input checked="" type="checkbox"/>		

SUBMISSION REQUIREMENTS (Continued)										STATUS		NOTES / LAND USE ORDINANCE REFERENCE		
ITEM #	SITE PLAN WAIVER	PLANNING BOARD OR ZONING BOARD of ADJ						ZONING BOARD		C = Complies				
		MINOR		MAJOR				VARIANCES		W = Waiver				
		SUBDIVISION SITE PLAN	SUBDIVISION SITE PLAN	SUBDIVISION SITE PLAN	SUBDIVISION SITE PLAN	SUBDIVISION SITE PLAN	SUBDIVISION SITE PLAN	b & #	c	d	APPLICANT		TOWNSHIP	
												PRILIM		FINAL
ITEM DESCRIPTION														
22		X	X	X	X	X	X		X	X		<input checked="" type="checkbox"/>		
23		X	X	X	X	X	X		X	X		<input checked="" type="checkbox"/>		
24		X	X	X	X	X	X		X	X		<input checked="" type="checkbox"/>		
25		X	X	X	X	X	X		X	X		<input checked="" type="checkbox"/>		
26		X	X	X	X	X	X		X	X		<input checked="" type="checkbox"/>		
27		X	X	X	X	X	X		X	X		<input checked="" type="checkbox"/>		
28		X	X	X	X	X	X		X	X		<input checked="" type="checkbox"/>		
29		X	X	X	X	X	X		X	X		W <input type="checkbox"/>		
30		X	X	X	X	X	X		X	X		W <input type="checkbox"/>		
31		X	X	X	X	X	X		X	X		W <input type="checkbox"/>		
32		X	X	X	X	X	X		X	X		W <input type="checkbox"/>		
33		X	X	X	X	X	X		X	X		N/A <input type="checkbox"/>		

Application #: \_\_\_\_\_

SUBMISSION REQUIREMENTS (Continued)										STATUS	NOTES / LAND USE ORDINANCE REFERENCE			
ITEM #	SITE PLAN WAIVER	PLANNING BOARD OR ZONING BOARD of ADJ						ZONING BOARD				APPLICANT	TOWNSHIP	
		MINOR		MAJOR				VARIANCES 40:55D-70						
		SUBDIVISION	SITE PLAN	SUBDIVISION	SITE PLAN	SUBDIVISION	SITE PLAN	a	b					c
34	X		X	X	X	X	X			X	X	Dimensioned architectural plans for existing and proposed buildings and structures including floor plans for all levels and complete elevation views. Dimensioning shall be sufficient to verify floor area ratio, building height, parking requirements, etc. Plans shall be prepared by an Architect licensed by the State of NJ. Preparation by architect shall be optional for Site Plan Waivers to be determined by the reviewing authority at the time of application.	<input checked="" type="checkbox"/>	
35	X		X		X			X	X	X		Rapid access key boxes (aka Knox Box) on non-residential properties if applicable.	<input checked="" type="checkbox"/>	
36		X	X	X	X	X	X					Certification of submittal to the Morris County Planning Board as applicable.	<input checked="" type="checkbox"/>	
37		X	X	X	X	X	X					Proposed elevations of each floor level, the top of foundation and roof line of all principal buildings.	<input checked="" type="checkbox"/>	
38		X	X	X	X	X	X					The location and size of all existing and proposed utilities for both undeveloped and developed lots that are part of the application; detailed description of any and all easements and the manner in which they will be controlled.	<input checked="" type="checkbox"/>	
39			X	X	X	X	X					Topographic map of the subject tract detailing existing and proposed contours with intervals of two (2) feet where slopes are less than fifteen (15) percent and with intervals of five (5) feet where slopes exceed fifteen (15) percent. A reference benchmark shall be as related to the United States Geological Survey and United States Coast and Geodetic Survey. Existing contours shall be shown by a dashed line; proposed contours shall be shown as a solid line.	<input checked="" type="checkbox"/>	
40			X	X	X	X	X					All means of vehicular access and egress to and from the site onto public streets, showing the site and the location of curb cuts, including the possible utilization of traffic signals, channelization, acceleration and deceleration lanes, site triangles, required right-of-way dedication areas and other proposed devices necessary to promote a safe traffic circulation pattern.	<input checked="" type="checkbox"/>	
41		X	X	X	X	X	X					Calculations verifying suitable capacity of proposed pipes, swales, and other drainage features. N/A	<input type="checkbox"/>	
42			X	X	X	X	X		X	X		Depiction of the colors, textures, and other related features of all proposed buildings and structures.	<input checked="" type="checkbox"/>	
43			X	X	X	X	X		X	X		The proposed location, direction of illumination, power and type of proposed outdoor lighting, including details of lighting poles, light fixtures and foot candle limits.	<input checked="" type="checkbox"/>	
44					X	X	X	X				A section or staging plan, if proposed, indicating the portion of the tract to be considered for approval as part of the current application and the relationship of the portion of the tract to the remaining land area, including all applicable comparisons such as parking spaces, building coverage, lot coverage, open space areas and number of lots	<input type="checkbox"/>	W
45				X	X	X	X					Details and locations of all accessory structures including fences, trash enclosures, recycling areas, etc. N/A	<input type="checkbox"/>	
46				X	X	X	X					The location and design of any off-street parking and loading areas, showing size and location of parking stalls, loading area, aisles and barriers, curbing, sidewalks and paving specifications.	<input type="checkbox"/>	W

SUBMISSION REQUIREMENTS (Continued)										STATUS		NOTES / LAND USE ORDINANCE REFERENCE			
ITEM #	SITE PLAN WAIVER	PLANNING BOARD OR ZONING BOARD of ADJ						ZONING BOARD		C = Complies	W = Waiver				
		MINOR		MAJOR		VARIANCES 40:55D-70		b	c				d		
		SUBDIVISION	SITE PLAN	SUBDIVISION	SITE PLAN	SUBDIVISION	SITE PLAN							APPLICANT	TOWNSHIP
47						X	X			X	X	All additional details required at the time of preliminary approval, including a copy of the resolution of approval by the approving authority.	<input checked="" type="checkbox"/>		
48								X	X	X		Statement of facts in support of an application pursuant to NJAC 40:55D-70.	<input checked="" type="checkbox"/>		
49				X	X							Plans, profiles, cross-sections and construction details, horizontal and vertical alignments of the centerline of all proposed streets and of all existing streets abutting the tract, as well as similar details on curbing, sidewalks, storm drains, drainage structures and cross-sections every fifty (50) feet of all proposed streets and of all existing streets abutting the tract. Sight triangles, the radius of curb lines and street sign locations shall be clearly indicated at the intersections.	W <input type="checkbox"/>		
50				X		X						A Final Plat prepared in accordance with the Map Filing Law, N.J.S.A. 46:23-9.9. All dimensions, angles and bearings must be tied to at least two (2) permanent monuments not less than three hundred (300) feet apart and all information shall be indicated on the plat. At least one corner of any subdivision shall be tied horizontally to the NJ State Plane Coordinate system and vertically to the US Geodetic Survey System, with the data on the plat as to how the bearings were determined.	W <input type="checkbox"/>		
51						X	X					All additional details required at the time of preliminary approval including a copy of the resolution of approval by the approving authority.	<input checked="" type="checkbox"/>		
52						X	X					Detailed engineering data including: (a) final cross sections, plans, profiles and established grades of all streets, aisles, lanes and driveways and construction documents) plans and specifications or reference to) for all public improvements and (b) final plans and profiles of all storm and sanitary sewers and water mains.	W <input type="checkbox"/>		
53						X	X					Copies of any organization documents applicable to homeowners or condominium association or open space organization established to maintain common elements, such as articles of incorporation, the Master Deed, any membership rules, regulations and/or by-laws, if same is to be used to guarantee the maintenance of common elements.	N/A <input type="checkbox"/>		
54						X	X					Upon the completion of the installation of all utilities, the Applicant shall provide the Township with four (4) copies of "as built" plans showing the installed location of all structures and utilities to be distributed to the Planning & Zoning coordinator, Township Engineer, Construction Official and Zoning Officer.	<input checked="" type="checkbox"/>		
55	X											Any proposed changes to the building façade, parking lot/areas, site lighting, landscaping, dumpster size/location, or other site improvements shall be shown.	N/A <input type="checkbox"/>		

**NOTES:**

- 1. The approving authority may request additional information of any Applicant seeking variance approval if said information is deemed necessary by the Board to make an informed opinion on the application, except that the request for such information shall not be considered grounds to deem any application incomplete.
- 2. The approving authority may waive submission of any information required of variance or waiver applications in appropriate cases for specific applications, after first considering the opinion of the Technical Review Committee (TRC) on the waiver request made by the Applicant.

*/s/ Edward w. Purcell, Esq., Attorney* 10/14/21  
 Signature and Title of Preparer of Checklist Date

Applicant: T-Mobile Northeast, LLC	Property Address: Long Hill Road		
Owner: Public Service Electric and Gas Company	Block: 13908	Lot(s): 15.01	Zone: C
Project Name:	Application #:	Date:	

(a). To be signed before submission:

**I CONSENT TO THE FILING OF THIS SITE PLAN / SUBDIVISION APPLICATION WITH THE PLANNING BOARD / ZONING BOARD OF ADJUSTMENT OF THE TOWNSHIP OF LONG HILL:**

*Edward W. Purcell / JB* 10/14/21  
 Applicant Signature Date  
 Edward W. Purcell, Attorney for Applicant  
 Address

See attached Letter of Authorization

\_\_\_\_\_  
 Owner Signature Date  
 Address

(b). To be completed before submission:

**SITE PLAN / SUBDIVISION OF:**

Block: 13908 Lot(s): 15.01 Tax Map Number: \_\_\_\_\_  
 Date of Plan: 7/8/21 Scale: \_\_\_\_\_

(c). To be signed before submission:

**I HEREBY CERTIFY THAT I HAVE PREPARED THIS SITE PLAN / SUBDIVISION AND THAT ALL DIMENSIONS AND INFORMATION ARE CORRECT.**

*Edward W. Purcell / JB* 10/14/21  
 Signature and Title Date

(d). To be signed before issuance of a building permit:

**APPROVED BY THE PLANNING BOARD / ZONING BOARD OF ADJUSTMENT OF THE TOWNSHIP OF LONG HILL:**

Board Secretary: \_\_\_\_\_ Date: \_\_\_\_\_  
 Board Chair: \_\_\_\_\_ Date: \_\_\_\_\_

(e). To be signed before the issuance of a building permit (where applicable):

**ON THE RECOMMENDATION OF THE TOWNSHIP ENGINEER, I HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THAT A PERFORMANCE GUARANTY HAS BEEN POSTED IN ACCORDANCE WITH THE APPLICABLE CODES AND ORDINANCES:**

Township Clerk: \_\_\_\_\_ Date: \_\_\_\_\_

(f). **CERTIFICATE OF OCCUPANCY ISSUED:**

Construction Official: \_\_\_\_\_ Date: \_\_\_\_\_

ZONING BOARD OF ADJUSTMENT  
TOWNSHIP OF LONG HILL

Application No. 98-15Z

RESOLUTION

WHEREAS, OMNIPOINT COMMUNICATIONS, INC. has applied to the Zoning Board of Adjustment of the Township of Long Hill for use and bulk variances and preliminary and final site plan approval in conjunction with a proposal to install wireless communications antennas at the top of an existing tower (thereby increasing its height by some ten (10) feet) and to install a small equipment cabinet and related improvements at the base of the tower, with respect to property known as Block 195, Lot 15.01 on the Township Tax Map, located within a Public Service Electric & Gas Company right-of-way to the south of the intersection of Hickory Tavern Road and Long View Terrace, which premises are in a C (Conservation) Zone; and

WHEREAS, the Board, after carefully considering the evidence presented by the applicant and of the adjoining property owners and other interested parties, has made the following factual findings and conclusions:

1. The subject property, located in the "C" Conservation Zone, is a 150 foot wide strip containing a Public Service and Gas Company ("PSE&G") right-of-way. It is presently improved with a 123 foot high PSE&G electric line tower. PSE&G has authorized Omnipoint Communications ("Omnipoint") to make this application, which seeks permission to install some antennas at the top of the existing tower and a small electronics equipment cabinet and surrounding fencing at the base of the tower.

2. The application entails the following variances from requirements in the Township Zoning Ordinance (the "Ordinance"):

(a) The proposed use is not a permitted one in the C Zone, pursuant to Section 122.1 of the Ordinance. As such, a use variance is required under N.J.S.A. 40:55D-70(d).

(b) Pursuant to Section 131, the Schedule of Bulk Requirements in the Ordinance, the height limit in the Zone is 35 feet. The existing tower is 123 feet high and the proposed antennas at its top will extend the total height to some 133 feet. The requested height variance also falls within the criteria of N.J.S.A. 40:55D-70(d).

(c) Pursuant to the aforementioned Schedule in the Ordinance, the minimum required lot width in the Zone, as measured along the street line, is 250 feet. The lot width of the PSE&G right-of-way is 150 feet and it has only some 50 feet of frontage along Hickory Tavern Road. This involves a bulk variance within the criteria of N.J.S.A. 40:55D-70(c).

3. The application also requires site plan approval pursuant to Section 162.2 of the Ordinance.

4. The property, the existing PSE&G tower and the proposed new Omnipoint facilities are more particularly depicted on plans (consisting of Sheets S-1 and Z-1) prepared by Arcnet Architects, Inc. dated June 10, 1998 and June 15, 1998, last revised to July 16, 1998, same consisting of two (2) sheets.

5. Omnipoint presented expert witness testimony from several individuals in support of its application. Christopher Olson, Omnipoint's radio frequency engineer, was the first witness to testify on its behalf. He explained that a radio frequency engineer determines where base station locations are needed in order to provide seamless coverage. Mr. Olson currently serves as the person who sites facilities for Omnipoint. The witness stated that Omnipoint is a personal communications service ("PCS") provider, which is a wireless phone service similar to that of cellular companies. It requires



many small coverage areas and lower power base station sites throughout the network to be served. The Omnipoint system is 100% digital. Omnipoint is licensed by the Federal Communications Commission ("F.C.C.") and its PCS service is similar to that of a public utility. Apart from being able to speak to others, Omnipoint's customers can send messages to and from the Internet. There are also voice mail, data and paging services. Mr. Olson noted that at present the applicant's coverage in Long Hill is "very spotty". Omnipoint relies on a line of sight technology. As such, the existing PSE&G tower, which covers both sides of a hill, will fill an essential servicing need for the applicant. A computerized program has projected what the coverage would be in the future (i.e. after installation of the proposed facilities) based upon terrain, height of the structure and a propagation model. The proposed new installation will fill a gap in service in the northeasterly and easterly portions of the Township. There will still be a gap in coverage in the westerly portion of the municipality, and the applicant is looking for other sites to fill this need.

Mr. Olson also explained that there is a need to mount the three (3) proposed antennas above the existing tower in order to get the proper orientation without the structure of the tower itself blocking the signal. Each of the antennas will point in a different direction. The radio frequency engineer stated that radio transmissions from the antennas will not cause interference with other equipment that may be operating in the area. Omnipoint operates on only a certain frequency which others do not utilize. There will be no excessive noise generated from the facility, according to the witness. The only sound will be the "low hum" from a fan within the door of the equipment cabinet, which noise will not even be equivalent to that of an air conditioner.

Mr. Olson indicated that the facility will be unmanned, with the site being connected back to the applicant's switching office with actual wired telephone lines. It will be monitored (remotely) 24 hours a day and, in the event of an equipment outage, a technician would be dispatched to the site. Otherwise, service personnel will visit the site approximately once a month to do routine maintenance. The witness stated that Omnipoint will be the first carrier, and the only one that he knew of, on the existing tower. There would be no problem -- apart from a need to keep a certain distance from other carriers' antennas -- with other companies co-locating on the site.

6. Bruno J. Sutter, an architect with Arcnet, described in detail the facilities proposed for the site. There will be three (3) dual pol antennas, each of which will be 56 inches high and mounted on a galvanized steel pole. The overall added height at the top of the tower will be some 9'8". At the base of the tower, there will be a 12' X 12' fenced in area surrounded by an 8 foot high chain link fence. Within this compound, there will be a 5'4" high, by 3' wide, by 3'4" deep equipment cabinet and an even smaller electrical panel box. The compound will be located near the easterly leg of the tower, underneath the actual structure. The antennas will be off white in color, which will blend in with the sky; the equipment cabinet will be beige or sand tone in color. The architect said that electrical service for the facilities will be taken from an existing pole along Hickory Tavern Road, and will need to be overhead at least at its start. He said that as little vegetation as possible will be removed and most of the area will be left in its natural state. No trees of any significance (i.e. 4" to 6" or greater in diameter) should have to be removed. Service vehicles will park just off of Long Hill Road, some 600 feet away from the tower. The witness noted that the applicant is aware of the location of existing and proposed gas pipelines

in the area, and he said that it will not be necessary for vehicles to drive over the pipelines.

7. Alice Fahy-Elwood, a health physicist with Bell Labs, testified with regard to the safety of the radio frequency emissions from the site. She reviewed the data and conclusions on the subject which are contained in a written report prepared for the applicant. Ms. Fahy-Elwood said that the study which had been performed made "worst case assumptions" by assuming that the site would operate continuously at maximum power and with all of its channels going continuously. The results of the analysis indicate that the maximum level of radio frequency ("RF") energy to which the public may be exposed would be below all applicable health and safety limits. Specifically, the maximum level of RF energy from all proposed transmitters would be less than 0.005% of the safety criteria established by the F.C.C. Moreover, the RF level would be less than 0.001% of New Jersey Administrative Code limits.

8. William F. Masters, a professional planner, was the final expert to testify for the applicant. Utilizing a photo display board, the witness noted that the proposed new antennas at the top of the existing tower will have a minimal or even insignificant visual impact. The 12' X 12' enclosed compound area will occupy only some 4½% of the area inside the legs of the tower, according to the planner. While there will be a need to clear a 12 foot wide strip to gain access to the tower for construction purposes, this area could be restored with new vegetation. The planner cited a leading decision of the New Jersey Supreme Court which draws a sharp distinction between installations requiring new monopoles or towers and those where antennas are merely appended to existing structures, such as in the instant case. He said that the latter situation may involve an inherently beneficial usage. In any event, Mr. Masters maintained that the subject site is particularly suited for the

proposed use since it is centrally located within the search area and since it fills a gap in radio frequency coverage. There will not be any need to construct a new free-standing support structure for the antennas. The planner also felt that the existing PSE&G public utility usage and the proposed Omnipoint use would be compatible from a land use perspective. There should not be any significant impact on the environment or any substantial detriment to surrounding properties.

Mr. Masters said that the height variance is not based so much on a radio frequency requirement as it is upon the need for the antennas to clear the existing tower so as to avoid signal interference. He felt that the proposed antennas would be a rather insignificant addition to the tower given its mass in relationship to the dimensions of the antennas. The lot width variance pertains to an existing situation which will not be changed by the application. Both the new antennas and the equipment cabinet will be contained entirely within the footprint area of the existing tower, so there will be no adverse impacts in terms of setbacks or proximity to the side yards.

9. A few interested citizens offered some comments about the applicant's proposal. One nearby resident noted her concern over the fact that construction vehicles would be using an area in close proximity to her property. Another person stated that approval of the Omnipoint application would lead to other similar requests throughout the Township.

10. The Board has received and considered reports on the application from the Township Planning Consultant and the Township Engineer. Michael J. Tobia, the Township Planner, commented as follows with respect to the Omnipoint proposal:

"The clear and significant advantage to the application is that the existing PSE&G tower obviates the need for a new tower structure, which might have an adverse visual impact on the area. Traffic is not an issue as these facilities are unmanned and maintenance visits are limited to once or twice a month. Public health concerns are regulated by the

State, and radio and television interference issues by the F.C.C. Buffering and landscaping seem unnecessary given the existing vegetation in the area."

The Board has also received a standard letter from the Morris County Planning Board which notes that the proposal will have no adverse effect upon County roads and/or County drainage facilities.

11. After reviewing the evidence submitted, the Board concludes that the applicant has sustained its burden of showing special reasons to warrant a grant of the requested use variance. The proposed wireless communication facilities are important for the general welfare in that they will serve the public's need for reliable and prompt transmission of information. As such, the proposal may very well be considered an inherently beneficial one. In any case, the site selected is one which is particularly well suited. As noted by the Township Planner, the utilization of the existing PSE&G tower obviates any need for a new tower structure, which might have an adverse visual impact upon the area. Additionally, the Board finds that the purposes of the Municipal Land Use Law will be advanced by the requested deviations from the zoning requirements and that the benefits to be derived therefrom will substantially outweigh any detriments associated therewith. For the reasons stated by the applicant's planner, the requested variances for height and lot width are also warranted. The addition of Omnipoint's antennas to the top of the tower will barely be noticeable. The lot width will not be affected by this application.

12. The Board also finds that the applicant has demonstrated that the requested relief can be granted without substantial detriment to the public good and without substantially impairing the intent and purpose of the Zone Plan and Zoning Ordinance. The right-of-way upon which the PSE&G tower is located is well wooded, and the applicant is amenable to installing additional plantings to replace any trees which may

have to be removed during construction of the Omnipoint facilities.

13. Finally, the Board is satisfied with the proposed site plan, subject to the conditions set forth below -- which conditions should serve to lessen any (minor) impacts which might otherwise result from the applicant's proposal.

WHEREAS, the Board took action on this application at its meeting on January 5, 1999, and this Resolution constitutes a Resolution of Memorialization of the action taken in accordance with N.J.S.A. 40:55D-10(g):

NOW, THEREFORE, BE IT RESOLVED by the Zoning Board of Adjustment of the Township of Long Hill, on this 6th day of April, 1999, that the application of Omnipoint Communications, Inc. for use and bulk variances and preliminary and final site plan approval, as aforesaid, be granted subject to the following conditions:

1. The plans shall be revised in the following respects, or calculations and data shall be supplied, all of which shall be satisfactory to the Township Engineer:

(a) Note that the decibel level at the site will not exceed that allowed under applicable noise standards or regulations.

(b) Note that there will be no audible alarms at the building or at the site.

(c) Note that the site shall only be accessed from Long Hill Road (i.e. rather than from Hickory Tavern Road).

(d) Note that the fencing at the property will not have barbed wire.

(e) Note that the applicant will supply the Township Police Department with a key to the locked gate at the site.

(f) Note that the electrical service to the facilities shall be installed underground at locations where the Township Engineer deems same to be feasible.

(g) Note that, following construction/installation of the proposed facilities, a meeting shall be held at the site between representatives of the applicant, the Township Engineer and a representative of the Township Shade Tree Committee at which meeting discussion shall be held and agreement reached as to the installation of replacement plantings for areas which may have been disturbed. It is understood that, since access to the facilities will still be required after construction, the replacement plantings (or all of such plantings) will not necessarily have to be in the same location as the vegetation which had been removed during construction. The Township Officials shall have the final decision-making authority as concerns the addition/installation of all such plantings.

(h) Provide for installation of a small sign at the site which will contain an emergency telephone number.

2. Applicant shall post with the Township sufficient funds to satisfy any deficiency in the developer's escrow account.

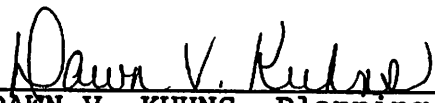
All conditions shall be satisfied prior to signing of the plans by the Board Officers and prior to the issuance of any building permit.

ROLL CALL VOTE:

Those in Favor: Mr. Scherer, Ms. Buffa, Mr. Behr, Mr. Spinello and Mr. Neville.

Those Opposed: None.

The foregoing is a true copy of a Resolution adopted by the Zoning Board of Adjustment of the Township of Long Hill at its meeting on April 6, 1999, as copied from the Minutes of said meeting.

  
\_\_\_\_\_  
DAWN V. KUHNS, Planning and  
Zoning Administrator

Dated: April 14, 1999



**From:** [Debra Coonce](#)  
**To:** [Gregory Meese](#); [Edward Purcell](#); [Christopher Quinn](#)  
**Cc:** [alec.norris@colliersengineering.com](#); [phil@tkdesignassociates.com](#); [Timothy Kronk](#)  
([tkronk@tkdesignassociates.com](#)); [Jolanta Maziarz](#); [ELeheny@phillipspreiss.com](#); [Rich@casevankeller.com](#);  
[Nancy Malool](#); [John R. Pidgeon](#); [Jeff Heiss](#); [Steven Warner](#); [Amanda Wolfe](#); [John Kaplan](#)  
**Subject:** VARIANCE Required / Long Hill, NJ - Wireless Communications Equipment Long Hill Rd. B13908 L15.01  
**Date:** Tuesday, August 31, 2021 3:42:06 PM  
**Attachments:** [1-APPLICATION \(Writable\).pdf](#)  
[2b-APP CHECKLIST A.pdf](#)  
**Importance:** High

---

Good Afternoon;

As the PSE&G monopole replacement project is well underway in the Township of Long Hill, and both T-Mobile & AT&T have been granted Board approval for the temporary equipment during the transition, we have also received construction applications for the new equipment to be placed on the new monopoles at the above referenced location.

Late last year, I received a zoning application from T-Mobile for the new equipment which was subsequently approved based on the understanding that the equipment was to be placed at a maximum height of 133 feet which had been previously approved by resolution #98-15Z, approved in April of 1999.

However, upon review of the current plans and extensive conversation with the Board Attorney, Jolanta Maziarz, the new proposed equipment for T-Mobile is to be placed at a height on top of the new monopoles of 171.5 feet, and the AT&T equipment at 157.5 feet which far exceeds any previous variance approvals granted, and will now require a **D6 height variance**, thus rendering any prior approvals void.

As such, the Construction Department will not be able to review any submissions at this time until Board approval is granted. Please submit the appropriate development application (attached) at your earliest convenience; we would suggest that a joint application be submitted for both carriers so that one hearing can be scheduled to keep everything moving forward as quickly as possible.

Should you have any questions, please do not hesitate to contact me.

**Please confirm receipt of this email.**

Thank you

**DEBRA COONCE**

Zoning Officer

Planning & Zoning Coordinator

TOWNSHIP OF LONG HILL

915 Valley Road, Gillette, NJ 07933

908-647-8000 Ext. 218

[pzcoord@longhillnj.gov](mailto:pzcoord@longhillnj.gov)

## CORPORATE OWNERSHIP SCHEDULE

Entity	Shareholder	Ownership
T-Mobile Northeast LLC shareholders with greater than 10% ownership of any class of stock	T-Mobile USA, Inc. 12920 SE 38 <sup>th</sup> Street Bellevue, WA 98006	100%
T-Mobile USA, Inc. shareholders with greater than 10% ownership of any class of stock	T-Mobile US, Inc. 12920 SE 38 <sup>th</sup> Street Bellevue, WA 98006	100%
T-Mobile US, Inc. shareholders with greater than 10% ownership of any class of stock  T-Mobile US, Inc. (NASDAQ: TMUS) is a publicly-traded company listed on the NASDAQ Global Select Market of NASDAQ Stock Market LLC	Deutsche Telekom Holding B.V.  SoftBank Group Corp. 1-9-1 Higashi-Shimbashi Minato-ku, Tokyo 105-7303 Japan	Approx. 43%  Approx. 24%
Deutsche Telekom Holding B.V.	T-Mobile Global Holding GmbH Landgrabenweg 151 53227 Bonn, Germany	100%
T-Mobile Global Holding GmbH shareholders with greater than 10% ownership of any class of stock	T-Mobile Global Zwischenholding GmbH Friedrich-Ebert-Allee 140 53111 Bonn, Germany	100%
T-Mobile Global Zwischenholding GmbH shareholders with greater than 10% ownership of any class of stock	Deutsche Telekom AG Friedrich-Ebert-Allee 140 53111 Bonn, Germany	100%
Deutsche Telekom AG shareholders with greater than 10% ownership of any class of stock  Deutsche Telekom AG is an Aktiengesellschaft organized and existing under the laws of the Federal Republic of Germany. Its principal trading market for its ordinary shares is the trading platform "Xetra" of Deutsche Börse AG. Deutsche Telekom's ordinary shares also trade on the Frankfurt, Berlin, Düsseldorf, Hamburg, Hannover, München and Stuttgart stock exchanges in Germany. Deutsche Telekom's American Depositary Shares ("ADSs"), each representing one ordinary share, trade on the OTC market's highest tier, OTCQX International Premier (ticker symbol: "DTEGY").	Federal Republic of Germany c/o Federal Ministry of Finance Wilhelmst. 97 10117 Berlin PA: P.O. Box 272 10117 Berlin  Kreditanstalt fuer Wiederaufbau, a bank controlled by the German Government Palmengartenstrasse 5-9 60325 Frankfurt am Main	Approx. 14.47%  Approx. 17.51%
SoftBank Group Corp.	Masayoshi Son c/o SoftBank Group Corp. 1-9-1 Higashi-Shimbashi Minato-ku, Tokyo 105-4303 Japan	Approx 21%

# T-MOBILE NORTHEAST LLC

**ENGINEERING**  
 2017 NATIONAL ELECTRIC CODE  
 2018 INTERNATIONAL BUILDING CODE, NEW JERSEY EDITION  
 TIA/EIA-222-G  
 AMERICAN WELDING SOCIETY D1.1

**GENERAL NOTES**  
 THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE; NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

**PROJECT DESCRIPTION**  
 THE PROPOSAL IS FOR THE CONSTRUCTION OF AN UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING OF SIX (6) PROPOSED ANTENNAS INSTALLED ON AN EXISTING TRANSMISSION TOWER AT A CENTERLINE HEIGHT OF 167.5± AGL. PROPOSED EQUIPMENT CABINETS AND ALL ASSOCIATED APPURTENANCES WITHIN A PROPOSED COMPOUND INSTALLED AT THE BASE OF THE TOWER.

**SITE INFORMATION**  
 ADDRESS: PSE&G STEEL POLE #12/4-1  
 ROSELAND-LAMBERTVILLE RIGHT-OF-WAY  
 LONG HILL ROAD  
 LONG HILL TOWNSHIP  
 MORRIS COUNTY, NEW JERSEY  
 COUNTY: MORRIS  
 BLOCK/LOT: B 13908 L 15.01  
 PROPERTY OWNER/LESSOR: PUBLIC SERVICE ELECTRIC AND GAS COMPANY (PSE&G)  
 80 PARK PLAZA  
 NEWARK, NEW JERSEY 07102  
 TOWER INFORMATION: VOLTAGE: 345 KV  
 CIRCUIT #: -  
 LATITUDE (NAD 83): N 40.687800°  
 LONGITUDE (NAD 83): W 74.464600°  
 CURRENT USE: PUBLIC UTILITY WITH WIRELESS COMMUNICATIONS ATTACHMENT  
 PROPOSED USE: PUBLIC UTILITY WITH WIRELESS COMMUNICATIONS ATTACHMENT  
 JURISDICTION: LONG HILL TOWNSHIP  
 ZONE: C (CONSERVATION ZONE)  
 APPLICANT: T-MOBILE NORTHEAST LLC  
 4 SYLVAN WAY  
 PARSIPPANY, NJ 07054

**PROJECT CONTACTS**

NAME:	COMPANY:	PHONE #:
A/E: ALEC NORRIS	MASER CONSULTING	856-797-0412
RF:	T-MOBILE	-
CONSTRUCTION:	T-MOBILE	-
SAC MANAGER:	TK DESIGN	-
PSE&G CONTACT:	ANTHONY F. SUPPA, JR. PSE&G	973-430-7506

**RF DATA NOTE**  
 CONTRACTOR SHALL OBTAIN LATEST RF DATA SHEET AND CONFIRM SAME WITH T-MOBILE CONSTRUCTION MANAGER PRIOR TO START OF CONSTRUCTION.  
 11"x17" DRAWINGS WILL NOT BE TO SCALE. SCALES ARE INDICATED BASED ON FULL SIZE PLOT.

**CONTACT INFORMATION**

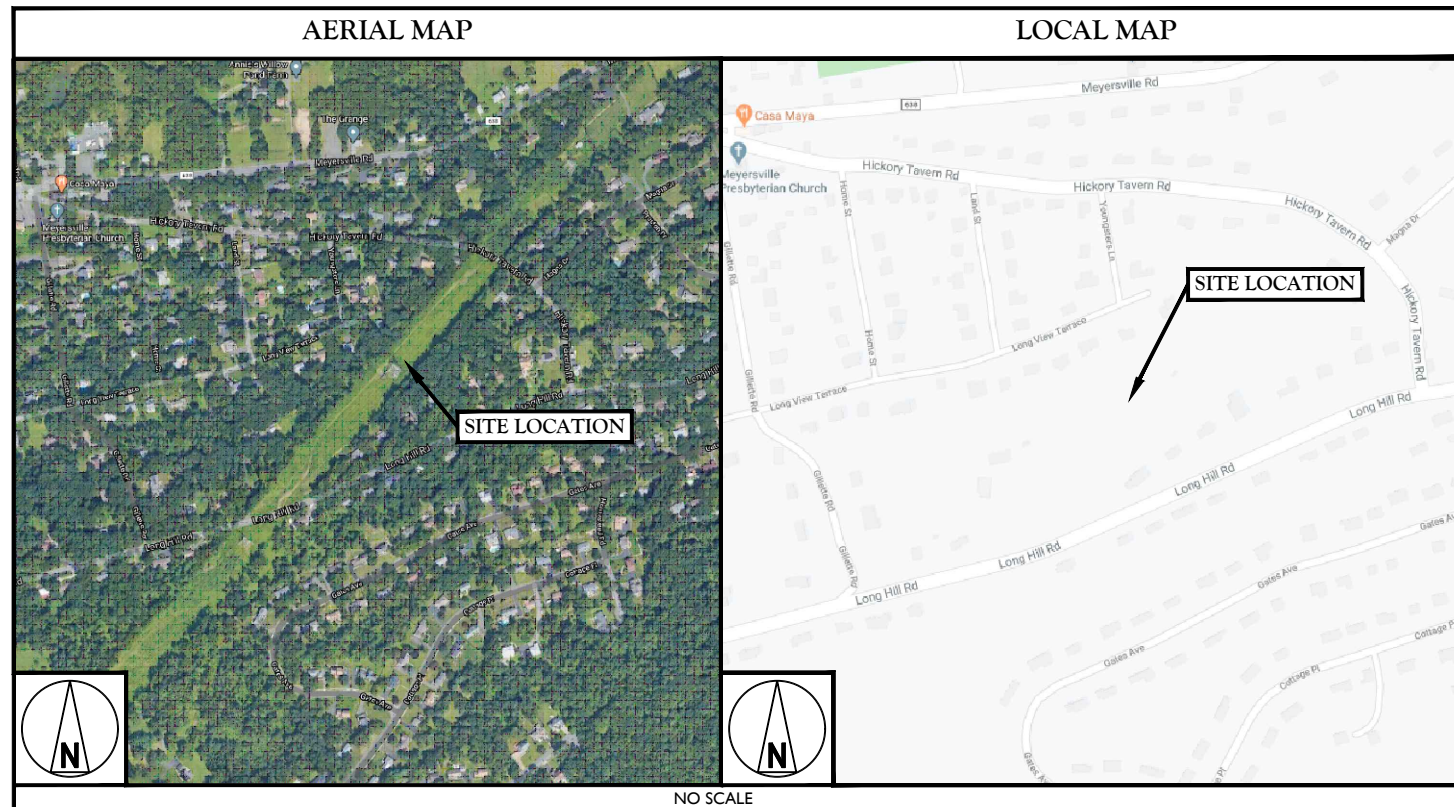
ENGINEER: MASER CONSULTING  
 2000 MIDLANTIC DRIVE, SUITE 100  
 MT. LAUREL, NJ 08054

CONTACT: ALEC S. NORRIS  
 PHONE: (856) 797-0412 EXT. 4145

PSE&G - LONG HILL  
 NJ06097E

CONSTRUCTION DRAWINGS  
 PROPOSED UNMANNED EQUIPMENT COMPOUND  
 AT EXISTING TRANSMISSION TOWER

PUBLIC SERVICE ELECTRIC AND GAS COMPANY (PSE&G)  
 150' PSE&G STEEL POLE #12/4-1  
 ROSELAND-LAMBERTVILLE RIGHT-OF-WAY  
 VOLTAGE 345 KV - CIRCUIT #: -  
 LONG HILL ROAD, LONG HILL TOWNSHIP  
 MORRIS COUNTY, NEW JERSEY



**DRIVING DIRECTIONS**  
 DIRECTIONS FROM 4 SYLVAN WAY, PARSIPPANY, NJ 07054:  
 HEAD NORTHWEST ON SYLVAN WAY. TURN RIGHT ONTO DRYDEN WAY. KEEP LEFT AT THE FORK, FOLLOW SIGNS FOR U.S. 1 E AND MERGE ONTO NJ-10 E. SLIGHT RIGHT ONTO THE INTERSTATE 287 S RAMP TO MORRISTOWN. MERGE ONTO I-287 S. TAKE EXIT 33 FOR HARTER ROAD. TURN RIGHT ONTO HARTER ROAD. TURN RIGHT ONTO JAMES STREET. TURN RIGHT ONTO BLUE MILL ROAD. KEEP LEFT TO CONTINUE ON LEES HILL ROAD. TURN LEFT ONTO LONG HILL ROAD. CONTINUE ONTO NEW VERNON ROAD. AT THE TRAFFIC CIRCLE, TAKE THE 2ND EXIT ONTO HICKORY TAVERN ROAD. TURN RIGHT ONTO GILLETTE ROAD. TAKE A SHARP LEFT ONTO LONG HILL ROAD. THE DESTINATION WILL BE ON THE LEFT.

**DRAWING INDEX**

SHEET NO.	SHEET NAME
T-1	TITLE SHEET
C-1	SITE PLAN AND GENERAL NOTES
C-2	COMPOUND PLAN AND ELEVATION
C-3	DETAILS - 1
C-4	DETAILS - 2
C-5	DETAILS - 3
E-1	UTILITY ROUTING PLAN
E-2	ELECTRICAL AND TELEPHONE RISER AND NOTES
G-1	GROUNDING PLAN AND NOTES
G-2	GROUNDING DETAILS - 1
G-3	GROUNDING DETAILS - 2

**DO NOT SCALE DRAWINGS**  
 CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME

**811** NEW JERSEY ONE CALL  
 PHONE #: 1-800-272-1000  
 WEBSITE: WWW.NJ1-CALL.ORG

COPYRIGHT © 2021, MASER CONSULTING ALL RIGHTS RESERVED  
 THIS DRAWING AND ALL THE INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED. THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE EXPRESS WRITTEN CONSENT OF MASER CONSULTING.

**ENDORSEMENTS**  
 APPROVED BY PUBLIC SERVICE ELECTRIC AND GAS (PSE&G) COMPANY

PSE&G REPRESENTATIVE \_\_\_\_\_ DATE: \_\_\_\_\_

**MASER CONSULTING**  
 WILL BE KNOWN AS COLLERS ENGINEERING & DESIGN IN 2021  
 Customer Loyalty Through Client Satisfaction  
 www.maserconsulting.com  
 Engineers Planners Surveyors  
 Landscape Architects Environmental Scientists

Office Locations:  
 New Jersey: Englewood, Clinton, Hamilton, Egg Harbor, Gloucester, Mt. Arlington, New York, New Windsor, Westchester  
 Pennsylvania: Allentown, Erie, Harrisburg, Philadelphia, York  
 Florida: Tampa, Orlando, Jacksonville  
 Maryland: Baltimore  
 North Carolina: Raleigh, Virginia  
 New Mexico: Albuquerque  
 Tennessee: Knoxville  
 Texas: Fort Worth

RED BANK OFFICE  
 Corporate Headquarters  
 331 Newman Springs Road, Suite 203  
 Red Bank, NJ 07701  
 Phone: 732.383.1950 Fax: 732.383.1984

State of N.J. Certificate of Authorization: 24GA27986500  
 Copyright © 2021 Maser Consulting. All Rights Reserved. This drawing and all the information contained herein is authorized for use only by the party for whom the services were contracted or to whom it is certified. This drawing may not be copied, reused, disclosed, distributed or relied upon for any other purpose without the express written consent of Maser Consulting, P.A.

**T-Mobile**  
 T-MOBILE NORTHEAST LLC  
 4 SYLVAN WAY  
 PARSIPPANY, NJ 07054  
 TEL: (973) 397-4800 FAX: (973) 292-8893

MT. LAUREL OFFICE  
 2000 Midlantic Drive  
 Suite 100  
 Mount Laurel, NJ 08054  
 Phone: 856.797.0412 Fax: 856.722.1120  
 email: solutions@maserconsulting.com

DEPT.	DATE	APP'D	REVISIONS
RFE			
RF MAN.			
ZONING			
OPS			
CONSTR			
SITE AC.			

SCALE:	JOB NUMBER:
AS SHOWN	19901023A

REV	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
3	07/08/21	REVISED PER COMMENTS	AMN	ASN
2	06/11/21	REVISED PER COMMENTS	AMN	ASN
1	02/17/21	REVISED PER COMMENTS	AMN	ASN
0	01/25/21	ISSUED FOR CONSTRUCTION	AMN	ASN
B	12/02/20	REVISED PER COMMENTS	AMN	ASN
A	11/09/20	ISSUED FOR REVIEW	AMN	ASN

STATE OF NEW JERSEY  
 ALEC S. NORRIS  
 PROFESSIONAL ENGINEER  
 LICENSE NUMBER: 24GED449800

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF THE RESPONSIBLE LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

PSE&G - LONG HILL  
 NJ06097E  
 PSE&G STEEL POLE #12/4-1  
 ROSELAND-LAMBERTVILLE  
 RIGHT-OF-WAY

LONG HILL ROAD  
 LONG HILL TOWNSHIP  
 MORRIS COUNTY  
 NEW JERSEY

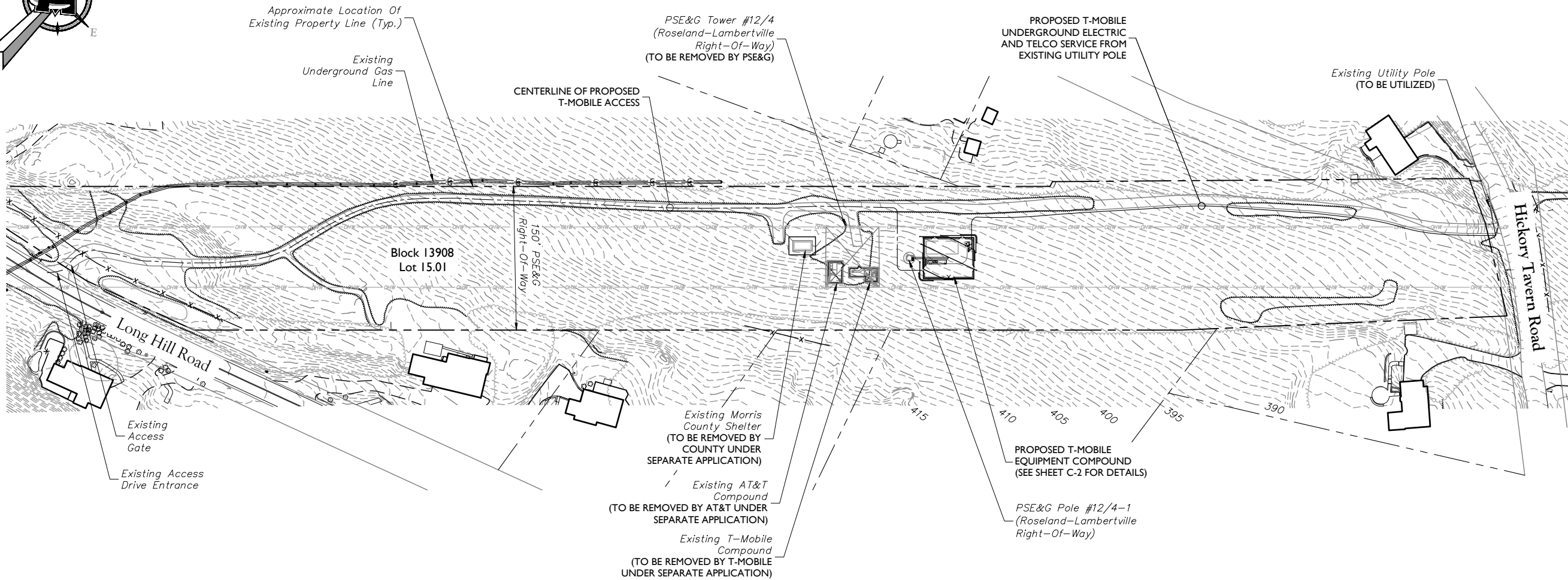
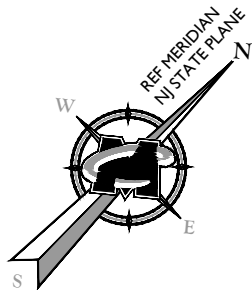
SHEET TITLE: TITLE SHEET  
 SHEET NUMBER: T-1

OWNERSHIP OF DOCUMENTS:  
 IT IS UNLAWFUL FOR ANY PERSON TO AMEND ANY ASPECT OF THESE DRAWINGS UNLESS THEY HAVE THE APPROVAL OF THE LICENSED PROFESSIONAL IN WRITING.



GENERAL NOTES

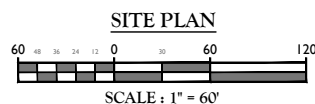
1. SITE AND BOUNDARY INFORMATION WAS OBTAINED FROM THE FOLLOWING:
  - A. LIMITED FIELD OBSERVATIONS PERFORMED BY MASER CONSULTING P.A. ON 07/16/19.
  - B. SOIL EROSION AND SEDIMENT CONTROL PLAN FOR RPV (SEGMENT I), DWG. NO. TO-737087, PROVIDED BY PSE&G DATED 06/13/19.
  - C. EXISTING CONDITIONS PLAN BY MASER CONSULTING DATED 11/01/19.
2. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
3. THE PROPOSED FACILITY IS UNMANNED AND IS NOT FOR HUMAN HABITATION. (NO HANDICAP ACCESS IS REQUIRED)
4. NO NOISE, SMOKE, DUST, VAPORS OR ODOR WILL RESULT FROM THIS PROPOSAL.
5. TOTAL AREA OF DISTURBANCE UNDER THIS PROPOSAL IS 3,000± S.F.; THEREFORE A SOIL EROSION AND SEDIMENT CONTROL PLAN HAS NOT BEEN PREPARED.
6. THE PROPOSED FACILITY WILL CREATE A DE MINIMIS INCREASE IN STORM WATER RUNOFF. THEREFORE, NO ALTERATIONS TO DRAINAGE STRUCTURES ARE PROPOSED.
7. ALL CONSTRUCTION FOR SITE IMPROVEMENTS SHALL CONFORM TO APPLICABLE SPECIFICATIONS, STANDARDS, AND REQUIREMENTS OF THE GOVERNMENTAL OR UTILITY AUTHORITIES HAVING JURISDICTION.
8. IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
9. EROSION CONTROL MEASURES SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
10. CONTRACTOR SHALL CONTACT THE NEW JERSEY ONE CALL SYSTEM PRIOR TO CONSTRUCTION @ 1-800-272-1000.
11. ALL CONSTRUCTION AND DESIGN FOR THE PROPOSED ANTENNA MOUNTS SHALL CONFORM IN ACCORDANCE WITH THE CURRENT STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES (TIA-222-G) REVISED, JANUARY 2009.
12. POWER TO THE FACILITY IS MONITORED BY A SEPARATE METER.
13. SUBCONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO ANY PROPOSED EXCAVATION.
14. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS & INSPECTIONS REQUIRED FOR CONSTRUCTION.
15. SUBCONTRACTOR SHALL DETERMINE EXACT ROUTE OF ANY UNDERGROUND CONDUIT, IF REQUIRED.
16. A DRIVEWAY PERMIT IS NOT REQUIRED FOR THIS APPLICATION.
17. THIS PROJECT WILL NOT REQUIRE STREETS OR PROPERTY TO BE DEDICATED FOR PUBLIC USE.
18. THIS PROJECT WILL NOT REQUIRE PERMANENT MONUMENTS.
19. ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP OF TOWNSHIP OF LONG HILL, NJ MAP NUMBER 3403560005B DATED 09/21/2001 THE SITE IS DESIGNATED WITHIN ZONE X, AREAS OF MINIMAL FLOODING.
20. BASED ON A REVIEW OF AVAILABLE WETLANDS RESOURCES (NJDEP IMAP, PSE&G MAPPING), NO WETLANDS EXIST ON OR NEAR THE PROPOSED T-MOBILE COMPOUND LOCATION.
21. THE OWNER, OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5-23-2.21 (E) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.32 (F) (OSHA COMPETENT PERSON).
22. WHEN FACILITY AND STRUCTURES ARE NO LONGER IN USE FOR WIRELESS TELECOMMUNICATIONS PURPOSES FOR A PERIOD GREATER THAN SIX (6) MONTHS, THE TOWER AND FACILITY COMPONENTS NO LONGER IN USE SHALL BE REMOVED WITHIN 90 DAYS OF THE END OF SUCH SIX-MONTH PERIOD.
23. OUTDOOR STORAGE AND SOLID WASTE CONTAINERS ARE NOT PROPOSED.
24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED DURING CONSTRUCTION OPERATION.
25. THE UNMANNED FACILITY SHALL BE VISITED ON THE AVERAGE OF ONCE A MONTH FOR MAINTENANCE, AND THEREFORE WILL POSE MINIMAL IMPACT TO OFF-SITE TRAFFIC.
26. THE CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
27. NO LANDSCAPING IS PROPOSED AT THIS SITE.
28. LOCATION BASED SYSTEM (E-911 EQUIPMENT) TO BE INSTALLED - NOT DEPICTED.
29. NO GENERATOR IS PROPOSED FOR THIS APPLICATION.
30. ALL TOWER COMPONENTS WILL BE GALVANIZED STEEL.



**LEGEND**

— LIGHT LINE WORK INDICATES EXISTING OBJECTS

— HEAVY LINE WORK INDICATED PROPOSED OBJECTS



**MASER CONSULTING**

WILL BE KNOWN AS COLLERS ENGINEERING & DESIGN IN 2021  
Customer Loyalty Through Client Satisfaction  
www.maserconsulting.com  
Engineers Planners Surveyors  
Landscape Architects Environmental Scientists

Office Locations:

- New Jersey: Trenton, Camden, Hamilton, Egg Harbor, Gloucester, Mt. Arlington, Mt. Laurel, New York, New Windsor, Westchester
- Pennsylvania: Allentown, Easton, Philadelphia, Pottsville, Reading, Scranton, York
- North Carolina: Raleigh, Virginia: Charlottesville, New Mexico: Albuquerque, Tennessee: Knoxville, Texas: Fort Worth

RED BANK OFFICE  
Corporate Headquarters  
331 Newman Springs Road, Suite 203  
Red Bank, NJ 07701  
Phone: 732.383.1950 Fax: 732.383.1984

State of N.J. Certificate of Authorization: 24GA27986500  
Copyright © 2021 Maser Consulting. All Rights Reserved. This drawing and all the information contained herein is authorized for use only by the party for whom the services were contracted or to whom it is certified. This drawing may not be copied, reused, disclosed, distributed or relied upon for any other purpose without the express written consent of Maser Consulting, P.A.

**T-Mobile**

T-MOBILE NORTHEAST LLC  
4 SYLVAN WAY  
PARSIPPANY, NJ 07054  
TEL: (973) 397-4800 FAX: (973) 292-8893

MT. LAUREL OFFICE  
2000 Midlantic Drive  
Suite 100  
Mount Laurel, NJ 08054  
Phone: 856.797.0412  
Fax: 856.722.1120  
email: solutions@maserconsulting.com

DEPT.	DATE	APP'D	REVISIONS
RFE			
RF MAN.			
ZONING			
OPS			
CONSTR			
SITE AC.			

SCALE:	JOB NUMBER:
AS SHOWN	19901023A

REV	DATE	DESCRIPTION	AMN	ASN
3	07/08/21	REVISED PER COMMENTS	AMN	ASN
2	06/11/21	REVISED PER COMMENTS	AMN	ASN
1	02/17/21	REVISED PER COMMENTS	AMN	ASN
0	01/25/21	ISSUED FOR CONSTRUCTION	AMN	ASN
B	12/02/20	REVISED PER COMMENTS	AMN	ASN
A	11/09/20	ISSUED FOR REVIEW	AMN	ASN

STATE OF NEW JERSEY  
Professional Engineer  
**ALBERT NORRIS**  
PROFESSIONAL ENGINEER  
LICENSE NUMBER: 24GED449800

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF THE RESPONSIBLE LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

PSE&G - LONG HILL  
NJ06097E  
PSE&G STEEL POLE #12/4-1  
ROSELAND-LAMBERTVILLE  
RIGHT-OF-WAY

LONG HILL ROAD  
LONG HILL TOWNSHIP  
MORRIS COUNTY  
NEW JERSEY

SHEET TITLE:  
**SITE PLAN AND  
GENERAL NOTES**

SHEET NUMBER:  
**C-1**

OWNERSHIP OF DOCUMENTS:  
IT IS UNLAWFUL FOR ANY PERSON TO AMEND ANY ASPECT OF THESE DRAWINGS UNLESS THEY HAVE THE APPROVAL OF THE LICENSED PROFESSIONAL IN WRITING.

**MASER CONSULTING**  
 WILL BE KNOWN AS COLLERS ENGINEERING & DESIGN IN 2021  
 Customer Loyalty Through Client Satisfaction  
 www.maserconsulting.com  
 Engineers ■ Planners ■ Surveyors  
 Landscape Architects ■ Environmental Scientists

**Office Locations:**

<ul style="list-style-type: none"> <li>New Jersey</li> <li>Clinton</li> <li>Elizabeth</li> <li>Essex</li> <li>Freehold</li> <li>Gloucester</li> <li>Hamden</li> <li>Jersey City</li> <li>Madison</li> <li>Montclair</li> <li>New York</li> <li>Newark</li> <li>North Plainfield</li> <li>Passaic</li> <li>Paterson</li> <li>Perth Amboy</li> <li>Plainfield</li> <li>Princeton</li> <li>Union</li> <li>Westfield</li> <li>Woodbridge</li> </ul>	<ul style="list-style-type: none"> <li>Pennsylvania</li> <li>Altoona</li> <li>Carlisle</li> <li>Chambersburg</li> <li>Gettysburg</li> <li>Harrisburg</li> <li>Hershey</li> <li>Lebanon</li> <li>Lancaster</li> <li>Lebanon</li> <li>York</li> </ul>	<ul style="list-style-type: none"> <li>North Carolina</li> <li>Asheville</li> <li>Charlotte</li> <li>Chapel Hill</li> <li>Greensboro</li> <li>Raleigh</li> <li>Winston-Salem</li> </ul>
---	---	---

**RED BANK OFFICE**  
 Corporate Headquarters  
 331 Newman Springs Road, Suite 203  
 Red Bank, NJ 07701  
 Phone: 732.383.1950 Fax: 732.383.1984

State of N.J. Certificate of Authorization: 24GA27986500  
 Copyright © 2021 Maser Consulting. All Rights Reserved. This drawing and all the information contained herein is authorized for use only by the party for whom the services were contracted or to whom it is certified. This drawing may not be copied, reused, disclosed, distributed or relied upon for any other purpose without the express written consent of Maser Consulting, P.A.

**T-Mobile**

T-MOBILE NORTHEAST LLC  
 4 SYLVAN WAY  
 PARSIPPANY, NJ 07054  
 TEL: (973) 397-4800 FAX: (973) 292-8893

**MT. LAUREL OFFICE**  
 2000 Midlantic Drive  
 Suite 100  
 Mount Laurel, NJ 08054  
 Phone: 856.797.0412 Fax: 856.722.1120  
 email: solutions@maserconsulting.com

DEPT.	DATE	APP'D	REVISIONS
RFE			
RF MAN.			
ZONING			
OPS			
CONSTR.			
SITE AC.			

SCALE	JOB NUMBER
AS SHOWN	19901023A

REV	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
3	07/08/21	REVISED PER COMMENTS	AMN	ASN
2	06/11/21	REVISED PER COMMENTS	AMN	ASN
1	02/17/21	REVISED PER COMMENTS	AMN	ASN
0	01/25/21	ISSUED FOR CONSTRUCTION	AMN	ASN
B	12/02/20	REVISED PER COMMENTS	AMN	ASN
A	11/09/20	ISSUED FOR REVIEW	AMN	ASN



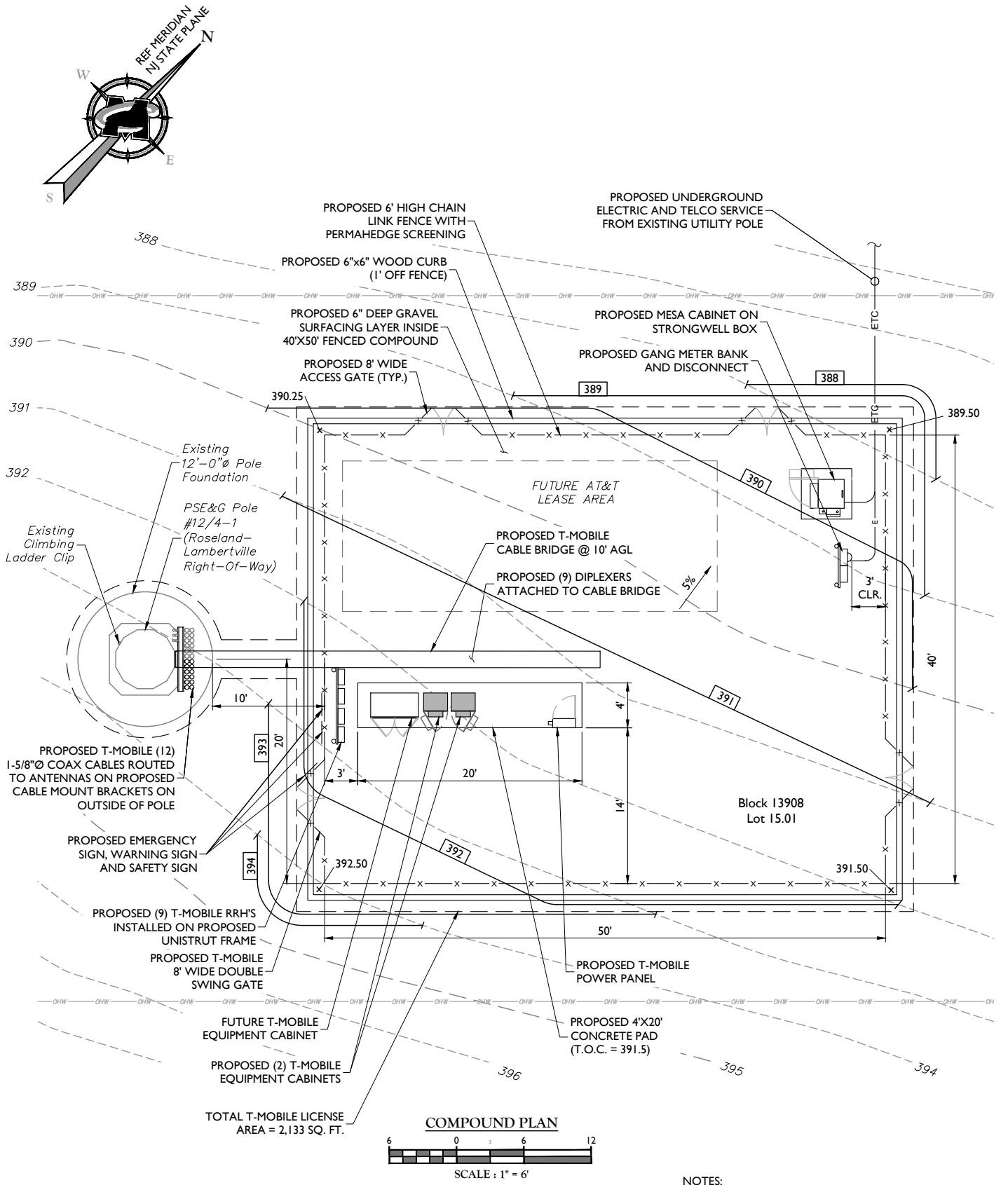
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF THE RESPONSIBLE LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

PSE&G - LONG HILL  
 NJ06097E  
 PSE&G STEEL POLE #12/4-1  
 ROSELAND-LAMBERTVILLE  
 RIGHT-OF-WAY

LONG HILL ROAD  
 LONG HILL TOWNSHIP  
 MORRIS COUNTY  
 NEW JERSEY

SHEET TITLE:  
**COMPOUND PLAN AND ELEVATION**

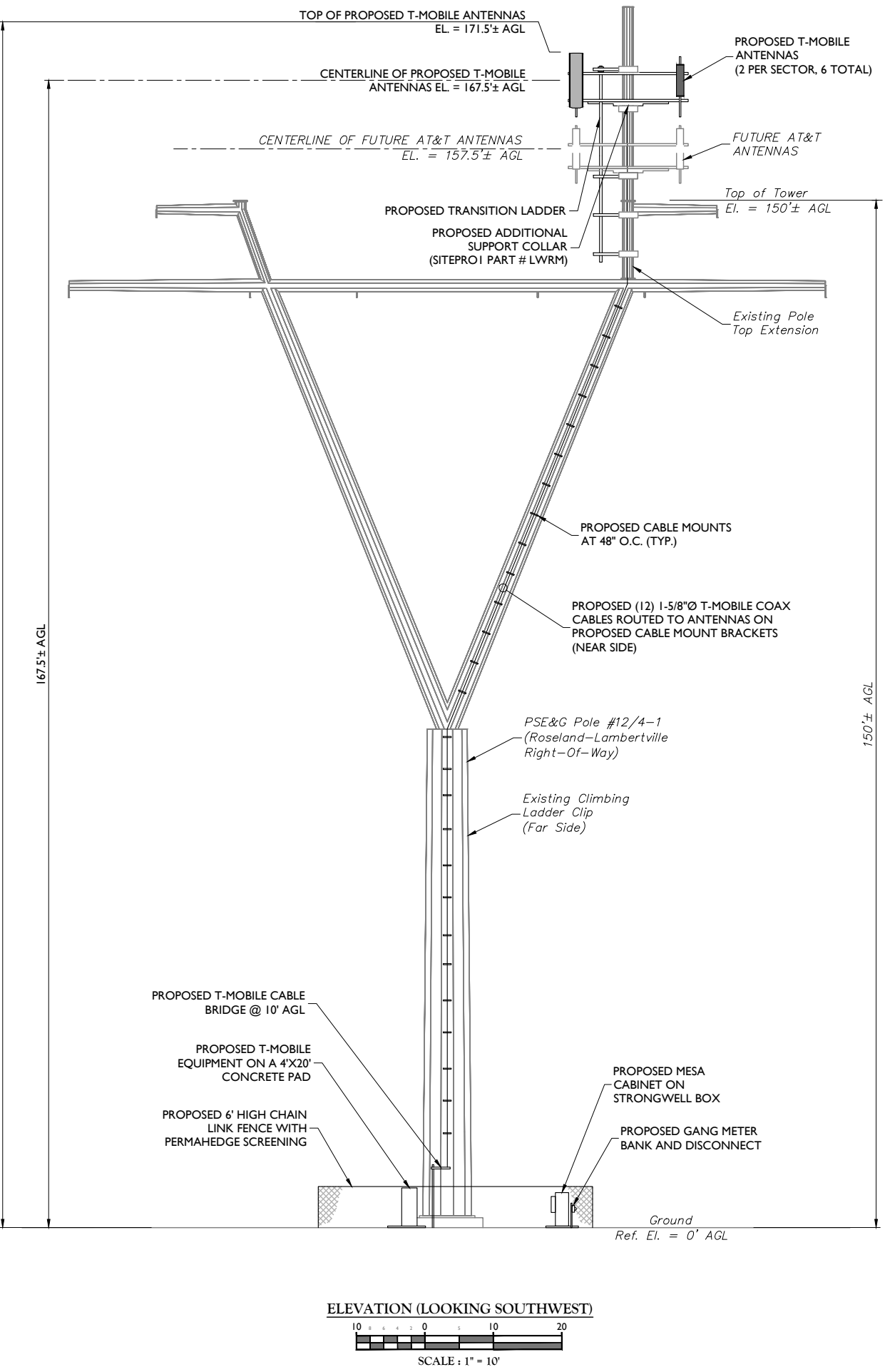
SHEET NUMBER:  
**C-2**



- NOTES:**
- STRUCTURAL ANALYSIS TO BE PERFORMED ON TOWER.
  - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
  - NO CABLE BRIDGE POSTS ARE TO BE INSTALLED OUTSIDE THE FENCED COMPOUND.
  - EXISTING MONUMENTS ARE NOT TO BE DISTURBED.
  - PROPOSED GRADES TO MATCH EXISTING UNLESS OTHERWISE SHOWN.

**LEGEND**

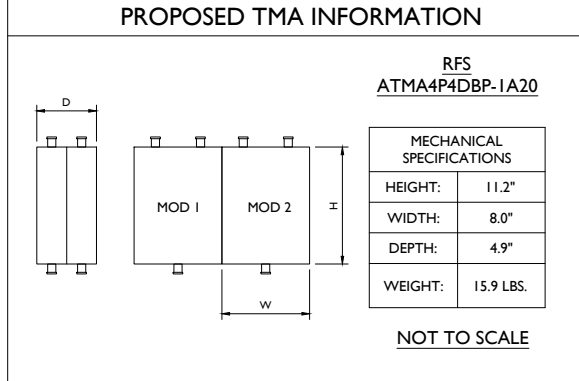
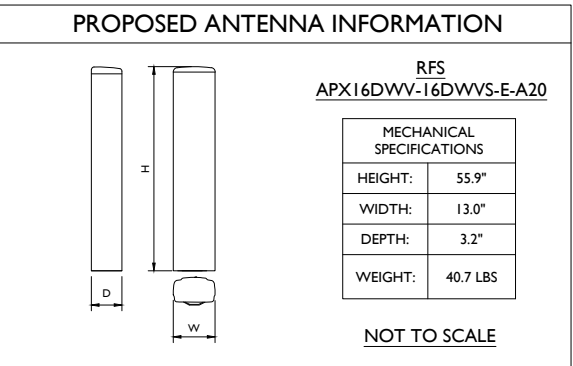
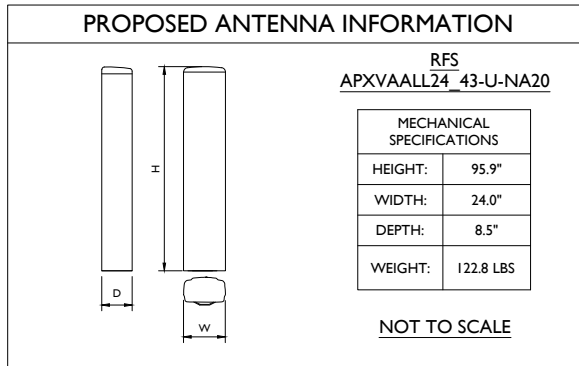
—	LIGHT LINE WORK INDICATES EXISTING OBJECTS
—	HEAVY LINE WORK INDICATED PROPOSED OBJECTS
12.3	PROPOSED SPOT ELEVATIONS



OWNERSHIP OF DOCUMENTS:  
 IT IS UNLAWFUL FOR ANY PERSON TO AMEND ANY ASPECT OF THESE DRAWINGS UNLESS THEY HAVE THE APPROVAL OF THE LICENSED PROFESSIONAL IN WRITING.

PROPOSED ANTENNA AND TRANSMISSION CABLE CONFIGURATION															
SECTOR	PROPOSED ANTENNA CONFIGURATION	ANTENNA TYPE	HEIGHT (in)	WIDTH (in)	DEPTH (in)	WEIGHT (lbs)	ANTENNA AZIMUTH	ANT. CL. ELEV. (ft.)	DOWNTILT	TRANSMISSION CABLE				TMA CONFIGURATION	
										M	E	QTY.	LENGTH		TYPE
ALPHA	1	RFS APX16DWV-16DWVS-E-A20	55.9	13.0	3.2	40.7	80°	167.5'	0°	2/2	-	-	-	-	-
	2	RFS APXVAALL24_43-U-NA20	95.9	24.0	8.5	122.8	80°	167.5'	0°	2/2/2/2	4	200'	1-5/8" COAX	RED	(2) ATMA4P4DBP-1A20
BETA	3	RFS APX16DWV-16DWVS-E-A20	55.9	13.0	3.2	40.7	190°	167.5'	0°	2/2	4	200'	1-5/8" COAX	WHITE	(2) ATMA4P4DBP-1A20
	4	RFS APXVAALL24_43-U-NA20	95.9	24.0	8.5	122.8	190°	167.5'	0°	2/2/2/2	-	-	-	-	-
GAMMA	5	RFS APX16DWV-16DWVS-E-A20	55.9	13.0	3.2	40.7	320°	167.5'	0°	2/2	-	-	-	-	-
	6	RFS APXVAALL24_43-U-NA20	95.9	24.0	8.5	122.8	320°	167.5'	0°	2/2/2/2	4	200'	1-5/8" COAX	BLUE	(2) ATMA4P4DBP-1A20

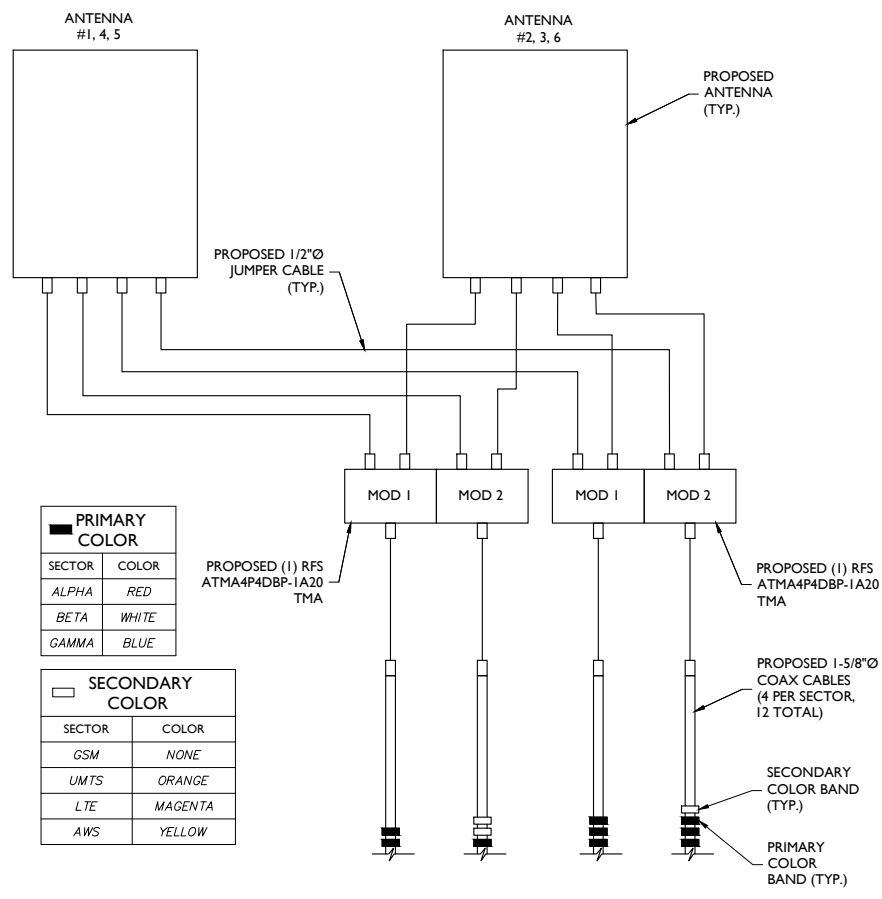
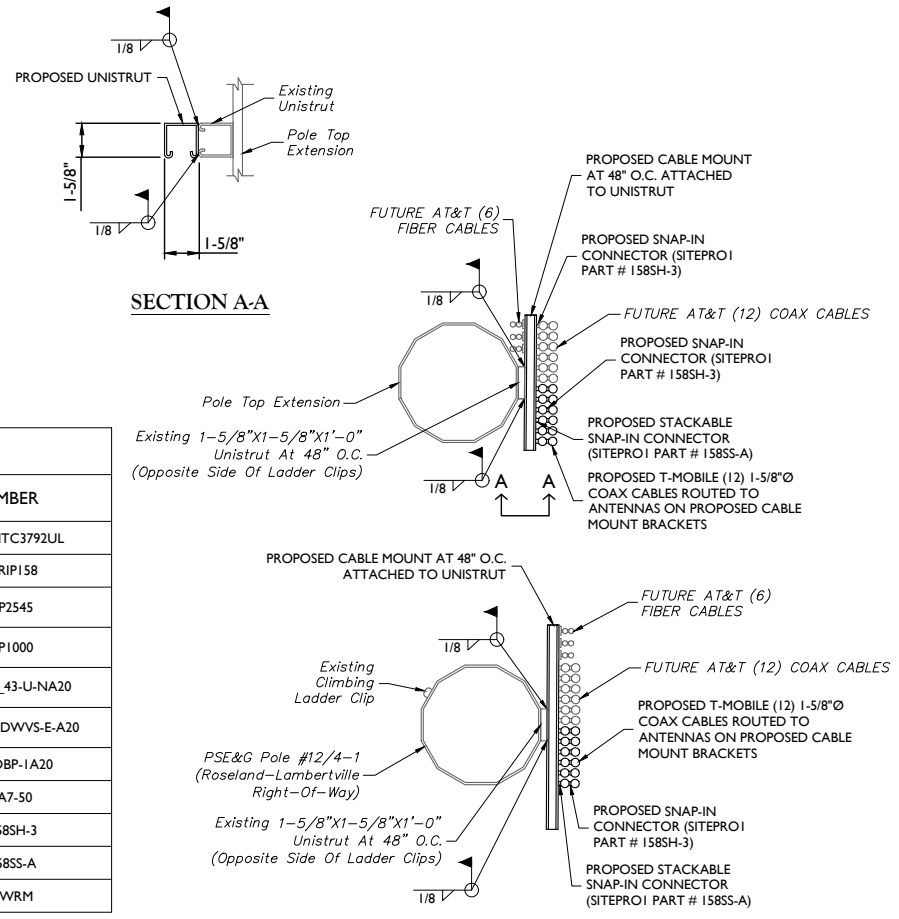
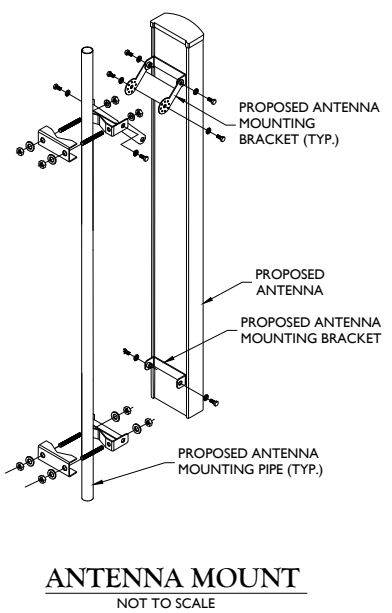
- PROJECT INFORMATION/SUMMARY:**
- ANTENNAS IN POSITIONS #1, 3 AND 5 ARE DUAL POL. ANTENNAS (3 TOTAL).
  - ANTENNAS IN POSITIONS #2, 4 AND 6 ARE OCTOPORT ANTENNAS (3 TOTAL).
  - INSTALL (6) NEW ANTENNAS ON NEW 12.5' PLATFORM (COMMSCOPE #MTC3792UL).
  - INSTALL (2) ATMA4P4DBP-1A20 TMAS BEHIND ANTENNA IN POSITIONS #2, 3 AND 6 (6 TOTAL).
  - INSTALL (12) 1-5/8" DIA. COAX CABLES ROUTED ON NEW CABLE MOUNT BRACKETS @ 4' O.C.



**BILL OF MATERIALS**

DESCRIPTION	QUANTITY	PART NUMBER
12.5' PLATFORM	1	COMMSCOPE MTC3792UL
LACE-UP HOISTING GRIP FOR 1-5/8" COAX	12	SITEPRO1 GRIP158
UNISTRUT SUPPORT ARM	1	UNISTRUT P2545
UNISTRUT VERTICAL SUPPORT	1	UNISTRUT P1000
ANTENNAS	3	RFS APXVAALL24_43-U-NA20
ANTENNAS	3	RFS APX16DWV-16DWVS-E-A20
TMAS	6	RFS ATMA4P4DBP-1A20
1-5/8" COAX CABLES	2,400 FT.	HELIAX AVA7-50
SNAP-IN CONNECTORS (10 PACK)	26	SITEPRO1 158SH-3
STACKABLE SNAP-IN CONNECTORS (10 PACK)	26	SITEPRO1 158SS-A
ADDITIONAL COLLAR RING MOUNT	1	SITEPRO1 LWRM

NOTE:  
NO SUBSTITUTES WITHOUT WRITTEN PERMISSION FROM PSE&G.

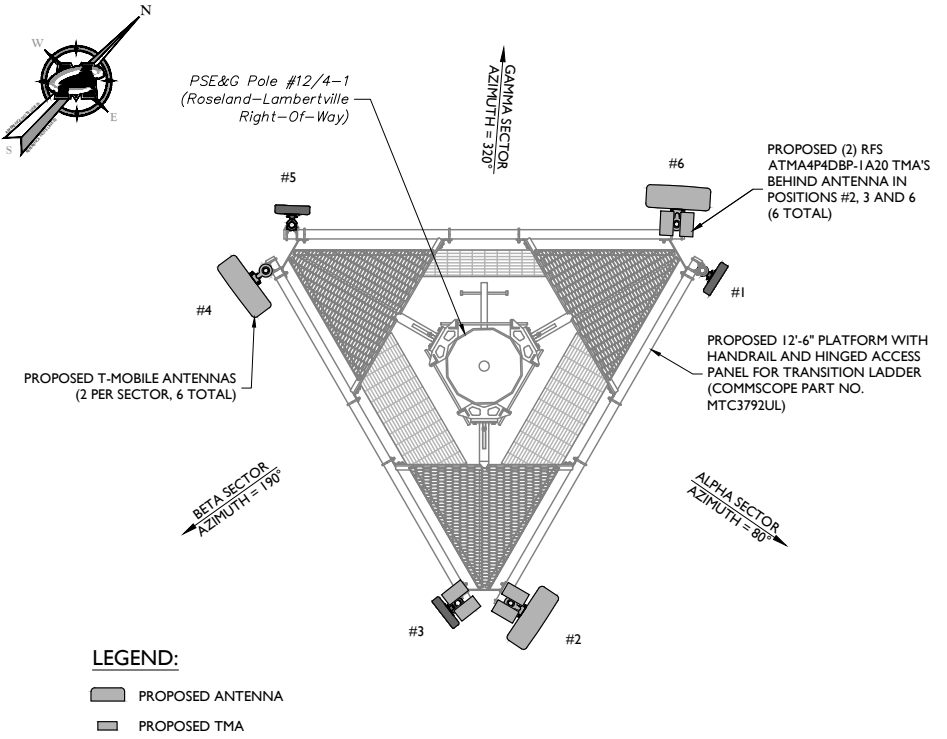


**PRIMARY COLOR**

SECTOR	COLOR
ALPHA	RED
BETA	WHITE
GAMMA	BLUE

**SECONDARY COLOR**

SECTOR	COLOR
GSM	NONE
UMTS	ORANGE
LTE	MAGENTA
AWS	YELLOW



**LEGEND:**

- PROPOSED ANTENNA
- PROPOSED TMA

**MASER CONSULTING**  
WILL BE KNOWN AS COLLIER ENGINEERING & DESIGN IN 2021  
Customer Loyalty Through Client Satisfaction  
www.maserconsulting.com  
Engineers Planners Surveyors  
Landscape Architects Environmental Scientists  
Office Locations:  
New Jersey: Edison, Elizabeth, Jersey City, Newark, Paterson, Trenton, Union, Woodbridge, York  
Pennsylvania: Allentown, Harrisburg, Philadelphia, Reading, Scranton, York  
North Carolina: Raleigh, Charlotte, Durham, Greensboro, Winston-Salem  
New Mexico: Albuquerque, Las Cruces, Santa Fe  
Tennessee: Knoxville, Memphis, Nashville  
Texas: Dallas, Fort Worth, Houston, San Antonio, Austin, El Paso, Fort Worth, Houston, San Antonio, Austin, El Paso  
RED BANK OFFICE  
Corporate Headquarters  
331 Newman Springs Road, Suite 203  
Red Bank, NJ 07701  
Phone: 732.383.1950 Fax: 732.383.1984  
State of N.J. Certificate of Authorization: 24GA27986500  
Copyright © 2021 Maser Consulting. All Rights Reserved. This drawing and all information contained herein is authorized for use only by the party for whom the services were contracted or to whom it is certified. This drawing may not be copied, reused, disclosed, distributed or relied upon for any other purpose without the express written consent of Maser Consulting, P.A.

**T-Mobile**  
T-MOBILE NORTHEAST LLC  
4 SYLVAN WAY  
PARSIPPANY, NJ 07054  
TEL: (973) 397-4800 FAX: (973) 292-8893  
MT. LAUREL OFFICE  
2000 Midland Drive  
Suite 100  
Mount Laurel, NJ 08054  
Phone: 856.797.0412  
Fax: 856.722.1120  
email: solutions@maserconsulting.com

DEPT.	DATE	APP'D	REVISIONS
RFE			
RF MAN.			
ZONING			
OPS			
CONSTR.			
SITE AC.			

SCALE	JOB NUMBER
AS SHOWN	19901023A

REV	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
3	07/08/21	REVISED PER COMMENTS	AMN	ASN
2	06/11/21	REVISED PER COMMENTS	AMN	ASN
1	02/17/21	REVISED PER COMMENTS	AMN	ASN
0	01/25/21	ISSUED FOR CONSTRUCTION	AMN	ASN
B	12/02/20	REVISED PER COMMENTS	AMN	ASN
A	11/09/20	ISSUED FOR REVIEW	AMN	ASN

STATE OF NEW JERSEY  
Professional Engineer  
AISEE MORRIS  
LICENSE NUMBER: 24GED449800  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF THE RESPONSIBLE LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

PSE&G - LONG HILL  
NJ06097E  
PSE&G STEEL POLE #12/4-1  
ROSELAND-LAMBERTVILLE  
RIGHT-OF-WAY  
LONG HILL ROAD  
LONG HILL TOWNSHIP  
MORRIS COUNTY  
NEW JERSEY

SHEET TITLE:  
DETAILS - I  
SHEET NUMBER:  
C-3

OWNERSHIP OF DOCUMENTS:  
IT IS UNLAWFUL FOR ANY PERSON TO AMEND ANY ASPECT OF THESE DRAWINGS UNLESS THEY HAVE THE APPROVAL OF THE LICENSED PROFESSIONAL IN WRITING.

**MASER CONSULTING**  
 WILL BE KNOWN AS COLLIER ENGINEERING & DESIGN IN 2021  
 Customer Loyalty Through Client Satisfaction  
 www.maserconsulting.com  
 Engineers Planners Surveyors  
 Landscape Architects Environmental Scientists

Office Locations:  
 New Jersey: Trenton, Camden, Elizabeth, Egg Harbor, Gloucester, Mt. Laurel, New York, New Windsor, Westchester  
 Pennsylvania: Allentown, Harrisburg, Philadelphia, York  
 North Carolina: Raleigh, Virginia: Norfolk, New Mexico: Albuquerque, Tennessee: Knoxville, Texas: Fort Worth

RED BANK OFFICE  
 Corporate Headquarters  
 331 Newman Springs Road, Suite 203  
 Red Bank, NJ 07701  
 Phone: 732.383.1950 Fax: 732.383.1984

State of N.J. Certificate of Authorization: 24GA27986500  
 Copyright © 2021 Maser Consulting. All Rights Reserved. This drawing and all the information contained herein is authorized for use only by the party for whom the services were contracted or to whom it is certified. This drawing may not be copied, reused, disclosed, distributed or relied upon for any other purpose without the express written consent of Maser Consulting, P.A.

**T-Mobile**

T-MOBILE NORTHEAST LLC  
 4 SYLVAN WAY  
 PARSIPPANY, NJ 07054  
 TEL: (973) 397-4800 FAX: (973) 292-8893

MT. LAUREL OFFICE  
 2000 Midatlantic Drive  
 Suite 100  
 Mount Laurel, NJ 08054  
 Phone: 856.797.0412  
 Fax: 856.722.1120  
 email: solutions@maserconsulting.com

DEPT.	DATE	APP'D	REVISIONS
RFE			
RF MAN.			
ZONING			
OPS			
CONSTR.			
SITE AC.			

SCALE	JOB NUMBER
AS SHOWN	19901023A

REV	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
3	07/08/21	REVISED PER COMMENTS	AMN	ASN
2	06/11/21	REVISED PER COMMENTS	AMN	ASN
1	02/17/21	REVISED PER COMMENTS	AMN	ASN
0	01/25/21	ISSUED FOR CONSTRUCTION	AMN	ASN
B	12/02/20	REVISED PER COMMENTS	AMN	ASN
A	11/09/20	ISSUED FOR REVIEW	AMN	ASN

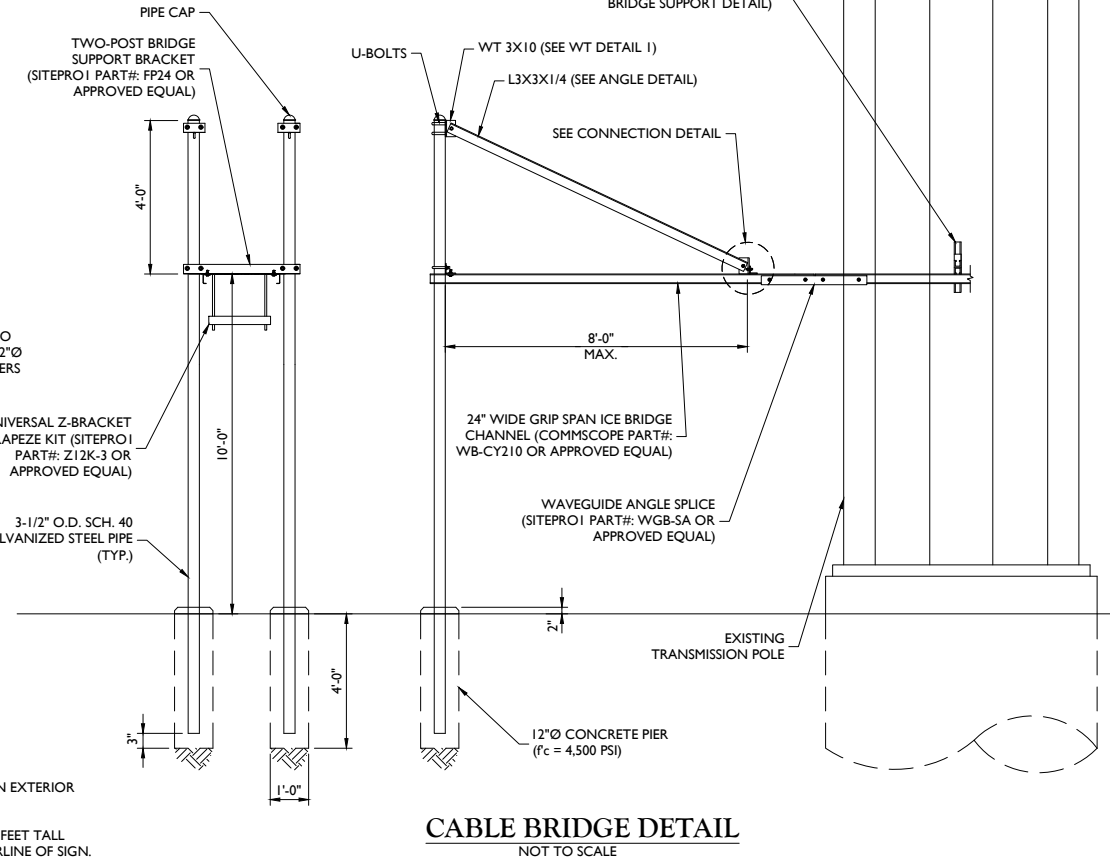
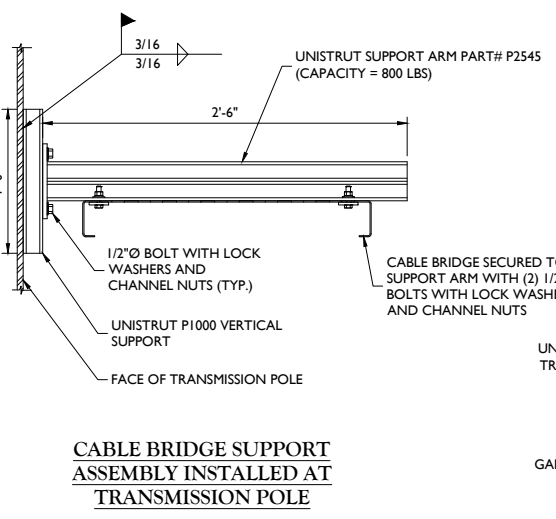
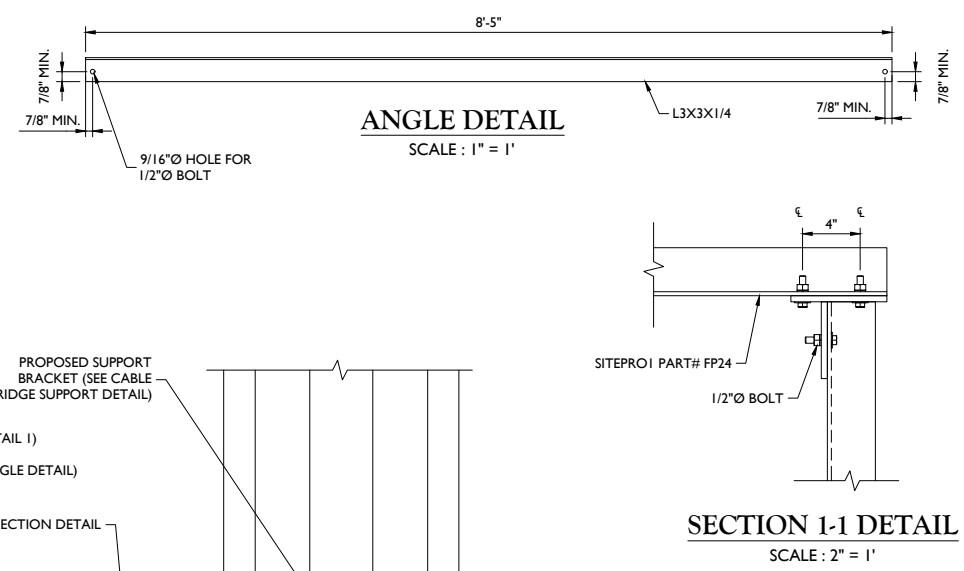
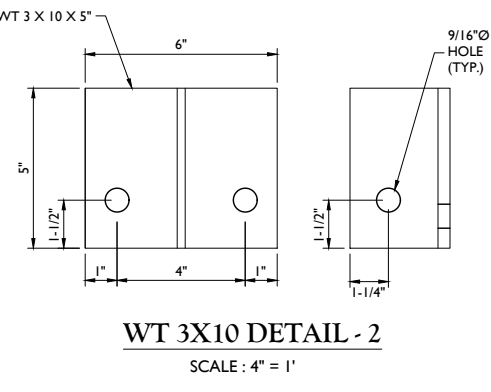
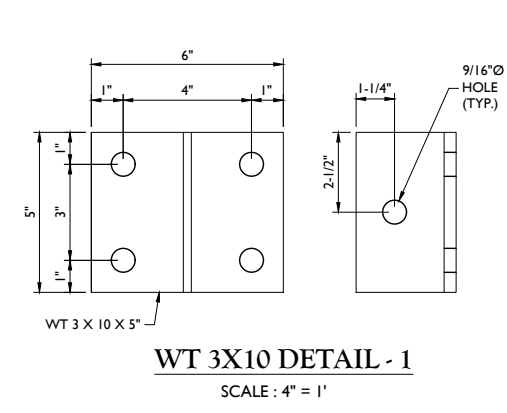
STATE OF NEW JERSEY  
 AISEY NORRIS  
 PROFESSIONAL ENGINEER  
 LICENSE NUMBER: 24GED449800

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF THE RESPONSIBLE LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

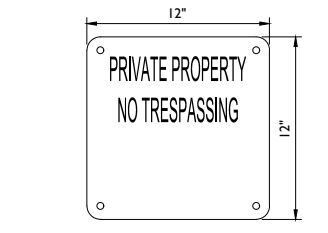
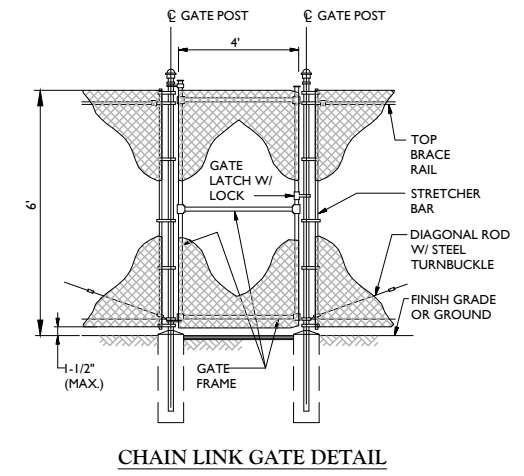
PSE&G - LONG HILL  
 NJ06097E  
 PSE&G STEEL POLE #12/4-1  
 ROSELAND-LAMBERTVILLE  
 RIGHT-OF-WAY

LONG HILL ROAD  
 LONG HILL TOWNSHIP  
 MORRIS COUNTY  
 NEW JERSEY

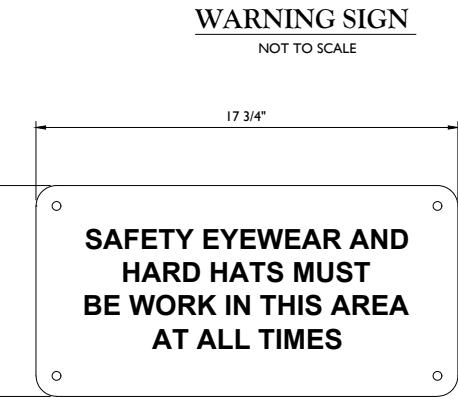
SHEET TITLE: DETAILS - 2  
 SHEET NUMBER: C-4



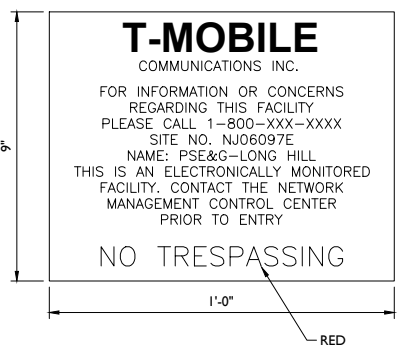
- TYPICAL FENCE NOTES**
- GATE POST, CORNER, TERMINAL OR PULL POST 2-1/2" SCHEDULE 40 FOR GATE WIDTHS UP THROUGH 6 FEET OR 12 FEET FOR DOUBLE SWING GATE PER ASTM-F1083.
  - LINE POST: 2" SCHEDULE 40 PIPE PER ASTM-F1083.
  - GATE FRAME: 1-1/2" SCHEDULE 40 PIPE PER ASTM-F1083.
  - TOP RAIL & BRACE RAIL: 1-1/2" SCHEDULE 40 PIPE PER ASTM-F1083.
  - FABRIC: 12 GA. CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392.
  - TIE WIRE: MINIMUM 11 GA. GALVANIZED STEEL AT POSTS AND RAILS A SINGLE WRAP OF FABRIC TIE AND AT TENSION WIRE BY HOG W/ FABRIC 14 GA.
  - TENSION WIRE: 7 GA. GALVANIZED STEEL.
  - GATE LATCH: DROP DOWN LOCKABLE FORK LATCH AND LOCK, KEYED ALIKE FOR ALL SITES IN A GIVEN MTA.
  - HEIGHT = 6' VERTICAL WITH GREEN PERMAHEDGE SCREENING.
  - ALL FENCE COMPONENTS SHALL BE GALVANIZED, EXCEPT CHAIN LINK FENCE, IN ACCORDANCE WITH ASTM A123 "ZINC (HOT-DIP GALVANIZED) COATINGS ON IRON AND STEEL PRODUCTS."



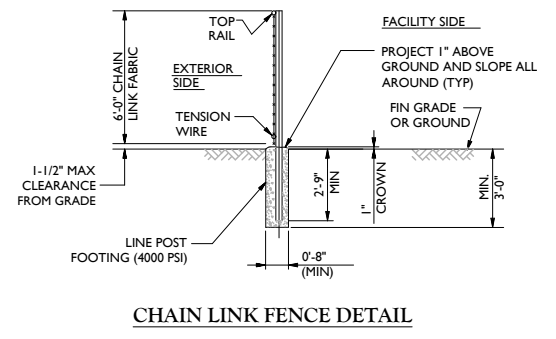
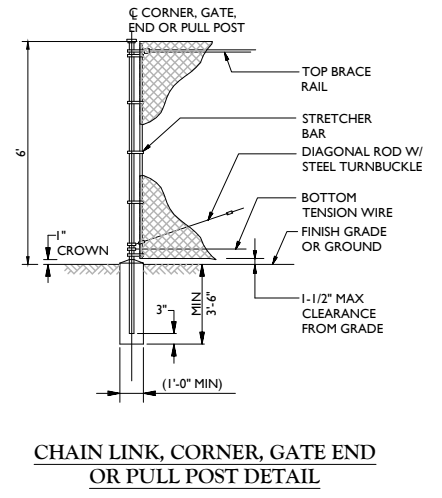
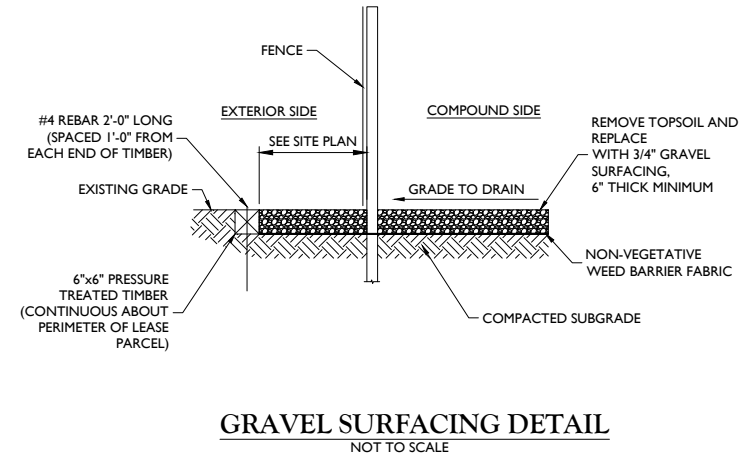
- NOTES:**
- SIGN SHALL BE MOUNTED ON EXTERIOR SIDE OF FACILITY FENCE.
  - MOUNTING HEIGHT TO BE 5 FEET TALL ABOVE GROUND TO CENTERLINE OF SIGN.



- NOTES:**
- SIGN SHALL BE MOUNTED ON EXTERIOR SIDE OF FACILITY FENCE.
  - MOUNTING HEIGHT TO BE 5 FEET ABOVE GROUND TO CENTERLINE OF SIGN.



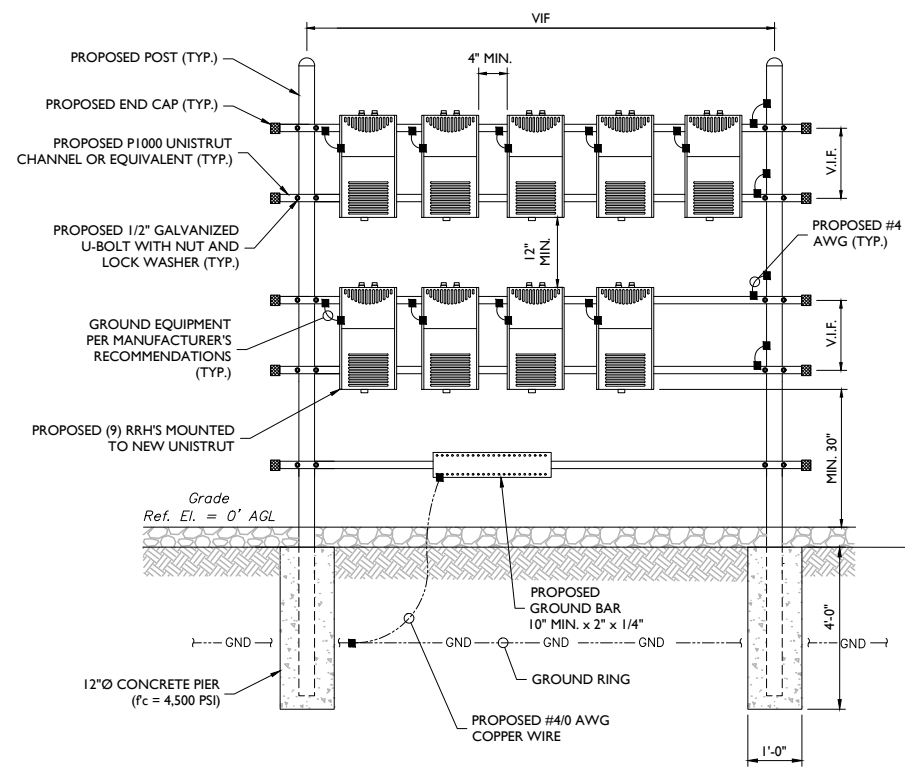
- NOTE:**  
 SIGN TO INCLUDE BLACK LETTERING EXCEPT AS NOTED, ON WHITE BACKGROUND ON METAL CONTACT T-MOBILE PROJECT MANAGER FOR EXACT TELEPHONE EMERGENCY NUMBER.



**FENCE DETAILS**  
 NOT TO SCALE

OWNERSHIP OF DOCUMENTS: IT IS UNLAWFUL FOR ANY PERSON TO AMEND ANY ASPECT OF THESE DRAWINGS UNLESS THEY HAVE THE APPROVAL OF THE LICENSED PROFESSIONAL IN WRITING.

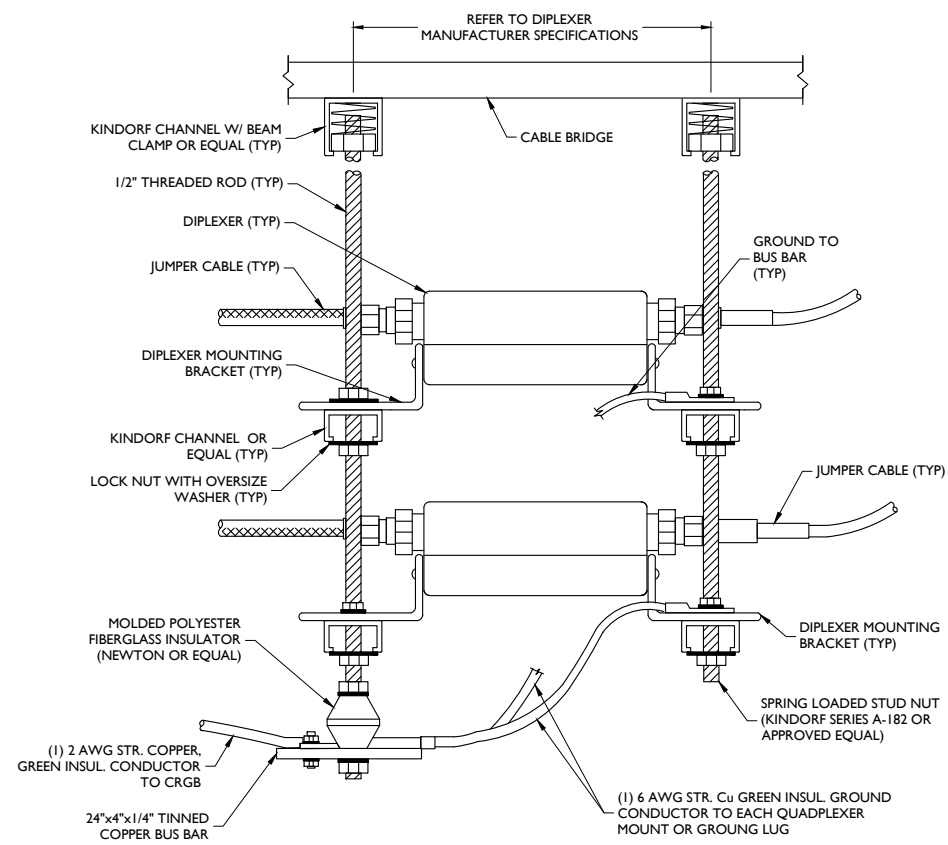




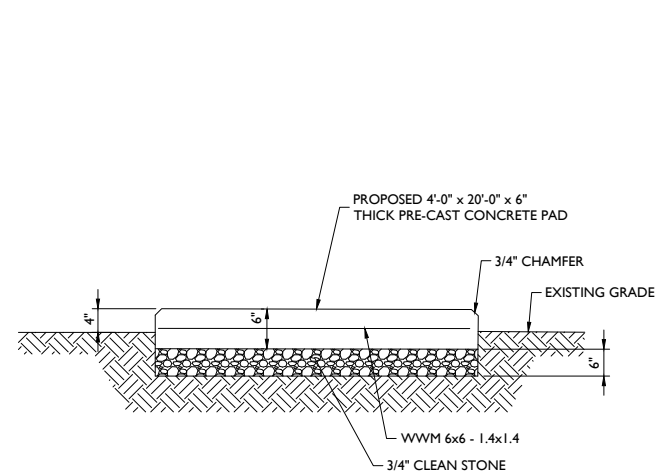
**RRH MOUNTING DETAIL**  
NOT TO SCALE

**NOTES:**

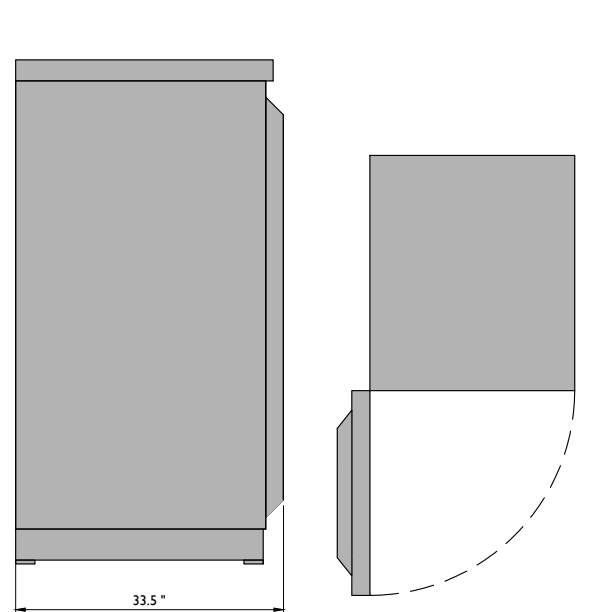
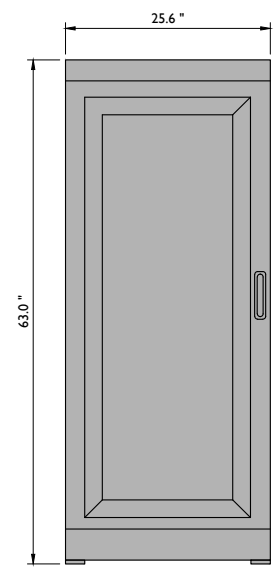
1. ERICSSON SUPPLIES THE RRH. SUBCONTRACTOR SHALL SUPPLY ALL OTHER MATERIALS AND INSTALL ALL MOUNTING HARDWARE. CONTRACTOR INSTALLS RRH AND MAKES CABLE TERMINATIONS.
2. ANY PIECE OF EQUIPMENT SHALL BE INSTALLED ON A MINIMUM OF TWO HORIZONTAL UNISTRUTS THAT ENGAGE A MINIMUM OF TWO VERTICAL PIPE MASTS. INSTALL VERTICAL UNISTRUT CHANNELS AS REQUIRED TO ALIGN FRAME WITH EQUIPMENT MOUNTING HOLES. FASTEN UNISTRUT CHANNELS TOGETHER WITH 3/8" UNISTRUT BOLTING HARDWARE AND SPRING NUTS.
3. EACH MAIN HORIZONTAL UNISTRUT TO BE MOUNTED ON VERTICAL POSTS USING 3/8" U-BOLTS, MINIMUM ONE AT EACH END OF UNISTRUT.
4. MOUNT RRH TO UNISTRUT WITH 3/8" UNISTRUT BOLTING HARDWARE, LOCK WASHERS, AND SPRING NUTS. TYPICAL FOUR PER BRACKET. SUBCONTRACTOR SHALL SUPPLY.
5. NO PAINTING OF THE RRH OR SOLAR SHIELD IS ALLOWED.



**DIPLEXER MOUNTING DETAIL**  
NOT TO SCALE

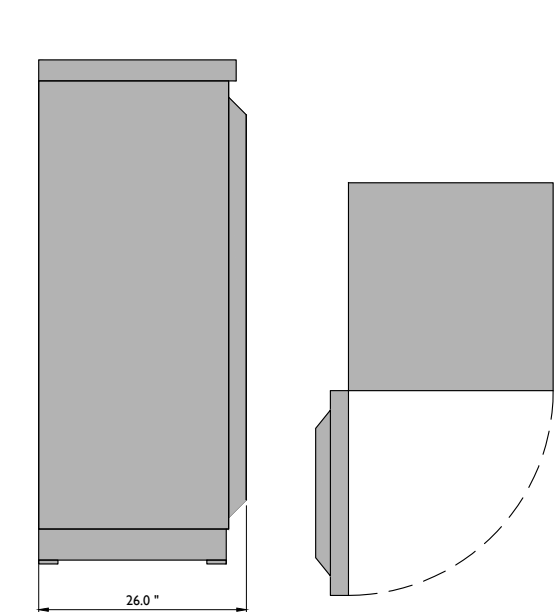
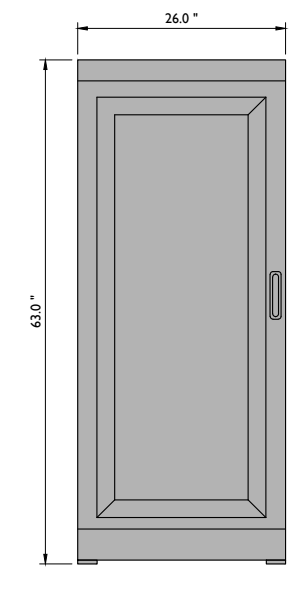


**CONCRETE PAD**  
NOT TO SCALE



WEIGHT: 6160 CABINET = 1500 LBS  
WITH EQUIPMENT INSTALLED

**ERICSSON 6160 ENCLOSURE**  
SCALE = 1:1



WEIGHT: B160 CABINET = 2000 LBS  
WITH EQUIPMENT INSTALLED

**ERICSSON B160 ENCLOSURE**  
SCALE = 1:1

**MASER CONSULTING**  
WILL BE KNOWN AS COLLERS ENGINEERING & DESIGN IN 2021  
Customer Loyalty Through Client Satisfaction  
www.maserconsulting.com  
Engineers Planners Surveyors  
Landscape Architects Environmental Scientists  
Office Locations:  
New Jersey: Trenton, Camden, Hamilton, Egg Harbor, Freehold, Mt. Laurel, New York, New Windsor, Westchester  
Pennsylvania: Allentown, Easton, Philadelphia, Pottsville, Reading, Scranton, York  
North Carolina: Raleigh, Virginia: Charlottesville, New Mexico: Albuquerque, New York: Albany, New York: Binghamton, New York: Ithaca, New York: Syracuse, New York: Utica  
Corporate Headquarters  
331 Newman Springs Road, Suite 203  
Red Bank, NJ 07701  
Phone: 732.383.1950 Fax: 732.383.1984  
State of N.J. Certificate of Authorization: 24GA27986500  
Copyright © 2021 Maser Consulting. All Rights Reserved. This drawing and all the information contained herein is authorized for use only by the party for whom the services were contracted or to whom it is certified. This drawing may not be copied, reused, disclosed, distributed or relied upon for any other purpose without the express written consent of Maser Consulting, P.A.

**T-Mobile**  
T-MOBILE NORTHEAST LLC  
4 SYLVAN WAY  
PARSIPPANY, NJ 07054  
TEL: (973) 397-4800 FAX: (973) 292-8893  
MT. LAUREL OFFICE  
2000 Midatlantic Drive  
Suite 100  
Mount Laurel, NJ 08054  
Phone: 856.797.0412  
Fax: 856.722.1120  
email: solutions@maserconsulting.com

DEPT.	DATE	APP'D	REVISIONS
RFE			
RF MAN.			
ZONING			
OPS			
CONSTR			
SITE AC.			

SCALE	JOB NUMBER
AS SHOWN	19901023A

REV	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
3	07/08/21	REVISED PER COMMENTS	AMN	ASN
2	06/11/21	REVISED PER COMMENTS	AMN	ASN
1	02/17/21	REVISED PER COMMENTS	AMN	ASN
0	01/25/21	ISSUED FOR CONSTRUCTION	AMN	ASN
B	12/02/20	REVISED PER COMMENTS	AMN	ASN
A	11/09/20	ISSUED FOR REVIEW	AMN	ASN

STATE OF NEW JERSEY  
Professional Engineer  
**ALICE J. MORRIS**  
PROFESSIONAL ENGINEER  
LICENSE NUMBER: 24GED449800

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF THE RESPONSIBLE LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

PSE&G - LONG HILL  
NJ06097E  
PSE&G STEEL POLE #12/4-1  
ROSELAND-LAMBERTVILLE  
RIGHT-OF-WAY  
LONG HILL ROAD  
LONG HILL TOWNSHIP  
MORRIS COUNTY  
NEW JERSEY

SHEET TITLE:  
**DETAILS - 3**  
SHEET NUMBER:  
**C-5**



**MASER CONSULTING**  
 WILL BE KNOWN AS COLLIER ENGINEERING & DESIGN IN 2021  
 Customer Loyalty Through Client Satisfaction  
 www.maserconsulting.com  
 Engineers • Planners • Surveyors  
 Landscape Architects • Environmental Scientists

**Office Locations:**

• New Jersey	• Pennsylvania	• North Carolina
• New York	• Virginia	• South Carolina
• Florida	• Maryland	• Tennessee
• Georgia	• Texas	• Kentucky
• Illinois	• Ohio	• West Virginia
• Michigan	• Indiana	• Missouri
• Wisconsin	• Minnesota	• Iowa
• Kansas	• Nebraska	• Oklahoma
• Arkansas	• Louisiana	• Mississippi
• Alabama	• Mississippi	• Louisiana
• Texas	• Texas	• Texas

**RED BANK OFFICE**  
 Corporate Headquarters  
 331 Newman Springs Road, Suite 203  
 Red Bank, NJ 07701  
 Phone: 732.383.1950 Fax: 732.383.1984

State of N.J. Certificate of Authorization: 24GA27986500  
 Copyright © 2021 Maser Consulting. All Rights Reserved. This drawing and all information contained herein is authorized for use only by the party for whom the services were contracted or to whom it is certified. This drawing may not be copied, reused, disclosed, distributed or relied upon for any other purpose without the express written consent of Maser Consulting, P.A.

**T-Mobile**

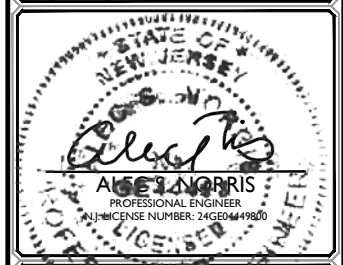
T-MOBILE NORTHEAST LLC  
 4 SYLVAN WAY  
 PARSIPPANY, NJ 07054  
 TEL: (973) 397-4800 FAX: (973) 292-8893

**MT. LAUREL OFFICE**  
 2000 Midlantic Drive  
 Suite 100  
 Mount Laurel, NJ 08054  
 Phone: 856.797.0412  
 Fax: 856.722.1120  
 email: solutions@maserconsulting.com

DEPT.	DATE	APP'D	REVISIONS
RFE			
RF MAN.			
ZONING			
OPS			
CONSTR			
SITE AC.			

SCALE	JOB NUMBER
AS SHOWN	19901023A

REV	DATE	DESCRIPTION	AMN	ASN
3	07/08/21	REVISED PER COMMENTS	AMN	ASN
2	06/11/21	REVISED PER COMMENTS	AMN	ASN
1	02/17/21	REVISED PER COMMENTS	AMN	ASN
0	01/25/21	ISSUED FOR CONSTRUCTION	AMN	ASN
B	12/02/20	REVISED PER COMMENTS	AMN	ASN
A	11/09/20	ISSUED FOR REVIEW	AMN	ASN



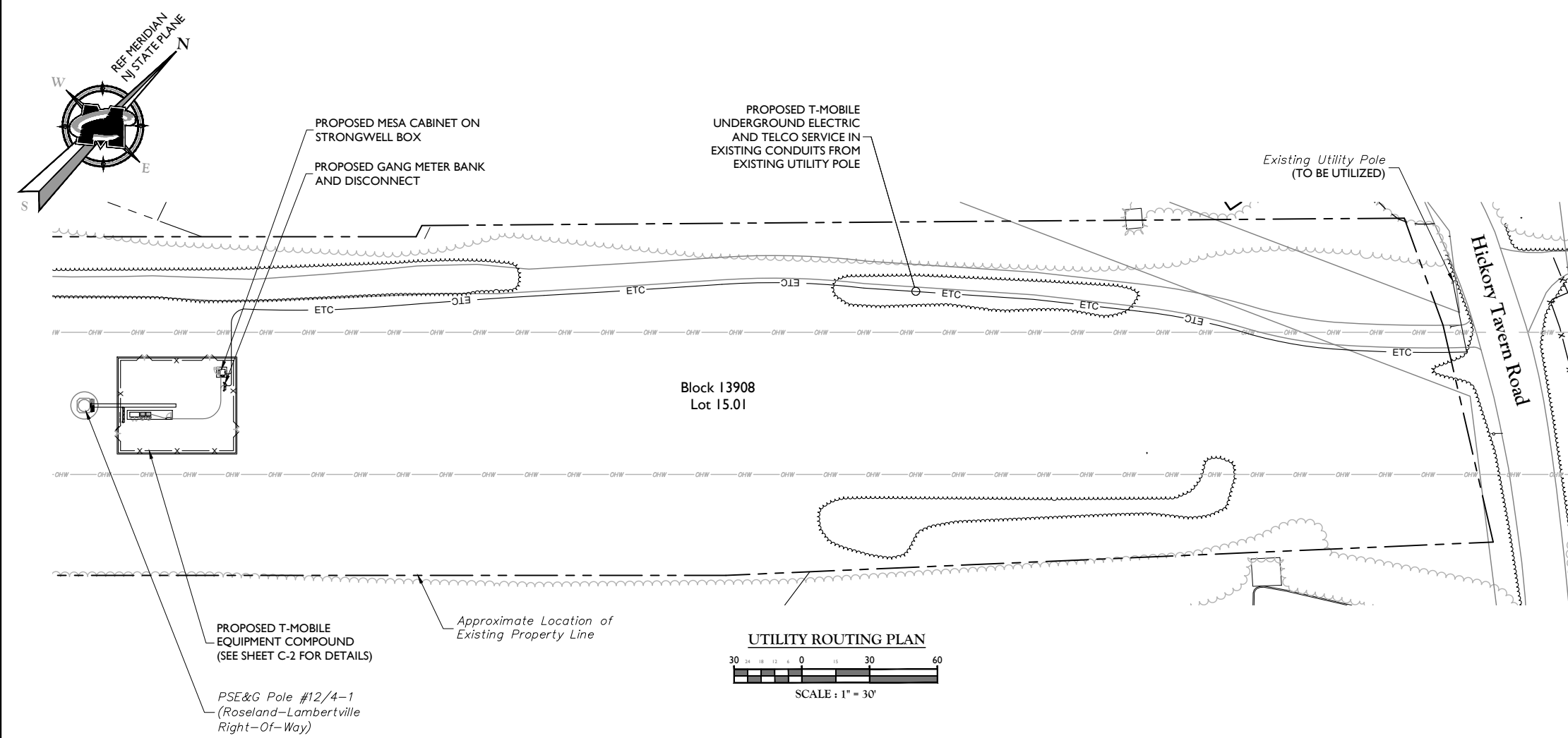
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF THE RESPONSIBLE LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

PSE&G - LONG HILL  
 NJ06097E  
 PSE&G STEEL POLE #12/4-1  
 ROSELAND-LAMBERTVILLE  
 RIGHT-OF-WAY

LONG HILL ROAD  
 LONG HILL TOWNSHIP  
 MORRIS COUNTY  
 NEW JERSEY

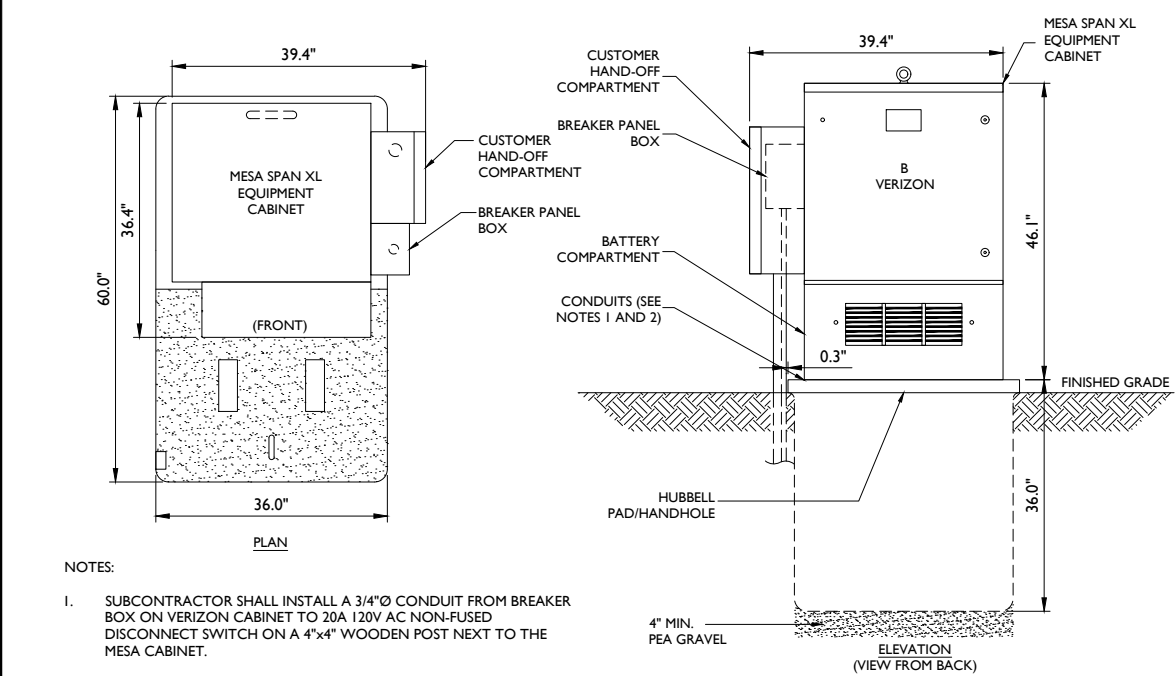
SHEET TITLE:  
**UTILITY ROUTING PLAN**

SHEET NUMBER:  
**E-1**



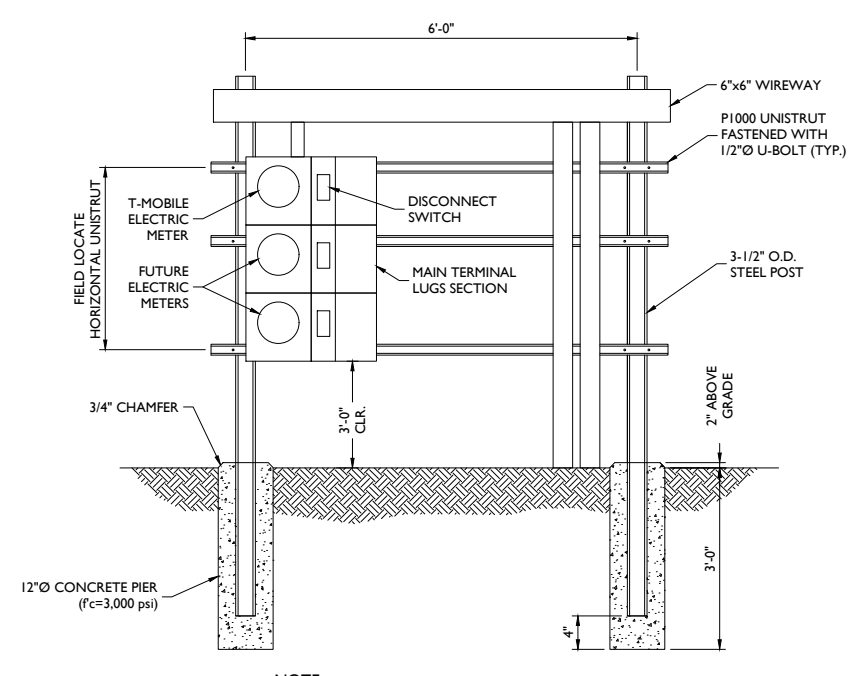
- TELEPHONE SYSTEM NOTES:**
- TELECO CONDUIT SHALL BE INSTALLED WITH PULL WIRE TO ACCOMMODATE THE FUTURE USE OF FIBER OPTIC CABLE.
  - CONDUIT RUNS SHALL 4" DIA. SCH 40 PVC WITH MINIMUM 2'-0" RADIUS SWEEPS AND ELBOWS AT BENDS.
  - T-1 LINE: (2) 6-PAIR INDIVIDUALLY SHIELDED, #22 AWG SOLID CORE TELEPHONE CABLE. INSTALL CABLE WITHOUT SPLICE FROM RDP TO TELCO PANEL. LEAVE 15'-0" OF SLACK CABLE AT EACH END. LABEL AS "T-1" AT EACH END OF PULL BOXES.
  - POTS LINE: (1) 4-PAIR, #24 AWG SOLID CORE TELEPHONE CABLE. INSTALL CABLE WITHOUT SPLICE. LEAVE 15'-0" SLACK CABLE AT EACH END. LABEL AS "POTS" AT EACH END AND AT PULL BOXES.
  - A TELCO WALK HAS NOT BEEN PERFORMED BY MASER. T-MOBILE WILL NEED TO COORDINATE WITH THE LOCAL PROVIDER TO VERIFY THE PROPOSED DESIGN.

- POWER NOTES:**
- PROVIDE BRANCH CIRCUITS FROM NEW POWER TO EQUIPMENT CABINETS AS REQUIRED BY CABINET LOAD DESIGNATIONS, PANEL CIRCUIT BREAKER RATINGS, NEC REQUIREMENTS.
  - ELECTRICAL CONTRACTOR SHALL FURNISH METER BANK AND MAIN LUGS SECTION COMPLETE WITH ALL DEVICES INDICATED. METER BANK AND MAIN LUG SECTION SHALL BE SQUARE D TYPE EZ METER PAK METER CENTER OUTDOOR USE. MAIN LUGS SECTION SHALL BE 600A. 120/240VAC, 1-PHASE 3-WIRE NEMA 3R. SQUARE D METER BANK IDENTIFIED 'MA' SHALL BE (3) METER SOCKET, 120/240VAC. 1-PHASE 3-WIRE NEMA 3R. MAX 200A PER SOCKET. SQUARE D CAT.#EZML32200. E.C. SHALL ORDER MAIN LUG SECTION INCOMING LUGS THAT CAN ACCOMMODATE 600 KCM COPPER CONDUCTOR PER PHASE AND THE NEUTRAL.
  - ELECTRICAL CONTRACTOR SHALL SUBMIT METER BANK AND MAIN LUG SECTION DESIGN LAYOUT TO PSE&G WIRING INSPECTOR FOR APPROVAL PRIOR TO PLACING ORDER OF EQUIPMENT AND CONSTRUCTION/INSTALLATION.
  - MAIN CIRCUIT BREAKER SHALL BE PROVIDED WITH METER BANK AS REQUIRED, SQUARE D CAT#QE-VH TYPE, 22,000 AMPERES MINIMUM SYMMETRICAL SHORT CIRCUIT INTERRUPTING CURRENT RATING.
  - ELECTRICAL CONNECTOR SHALL CONTACT UTILITY COMPANY ASSIGNED WIRING INSPECTOR FOR ELECTRIC SERVICE INSTALLATION REQUIREMENTS APPROVAL AND ACCEPTANCE OF SPECIFIED SERVICE EQUIPMENT PRIOR TO PURCHASING AND INSTALLATION OF SERVICE EQUIPMENT.
  - IF COMBINATION METAL AND PVC CONDUIT RUN IS INSTALLED ELECTRICAL CONNECTOR SHALL BOND METAL CONDUIT AT SERVICE PANEL.
  - WIRE MESA CABINET TO T-MOBILE PPC (20 AMP CIRCUIT).
  - A POWER WALK HAS NOT BEEN PERFORMED BY MASER. T-MOBILE WILL NEED TO COORDINATE WITH THE LOCAL PROVIDER TO VERIFY THE PROPOSED DESIGN.



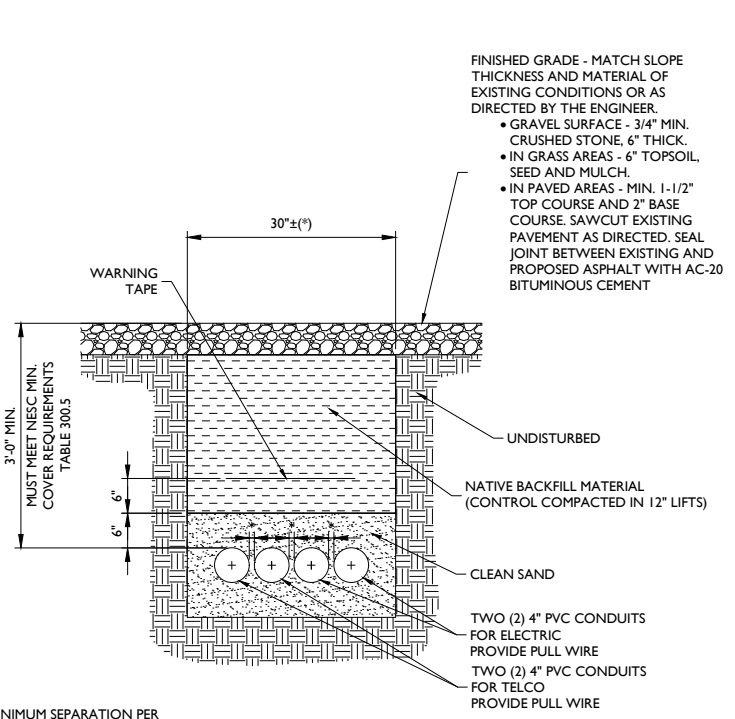
- NOTES:**
- SUBCONTRACTOR SHALL INSTALL A 3/4"Ø CONDUIT FROM BREAKER BOX ON VERIZON CABINET TO 20A 120V AC NON-FUSED DISCONNECT SWITCH ON A 4"x4" WOODEN POST NEXT TO THE MESA CABINET.
  - SUBCONTRACTOR SHALL INSTALL A 2"Ø CONDUIT FROM CUSTOMER HAND-OFF COMPARTMENT TO HUBBELL HANDHOLE PENETRATION.

**MESA CABINET DETAIL**  
 NOT TO SCALE



**NOTE:**  
 MOUNT METER BANK AND MAIN LUGS SECTION PER MANUFACTURER'S RECOMMENDATION AND INSTRUCTIONS.

**METER RACK**  
 NOT TO SCALE



\* MINIMUM SEPARATION PER TELCO AND UTILITY COMPANY REQUIREMENTS

**UNDERGROUND CONDUIT ROUTING**  
 NOT TO SCALE

OWNERSHIP OF DOCUMENTS: IT IS UNLAWFUL FOR ANY PERSON TO AMEND ANY ASPECT OF THESE DRAWINGS UNLESS THEY HAVE THE APPROVAL OF THE LICENSED PROFESSIONAL IN WRITING.

**MASER CONSULTING**  
 WILL BE KNOWN AS COLLIER ENGINEERING & DESIGN IN 2021  
 Customer Loyalty Through Client Satisfaction  
 www.maserconsulting.com  
 Engineers ■ Planners ■ Surveyors  
 Landscape Architects ■ Environmental Scientists  
 Office Locations:  
 ■ New Jersey ■ Pennsylvania ■ North Carolina  
 ■ New York ■ Virginia ■ Florida  
 ■ Georgia ■ South Carolina ■ Texas  
 ■ Illinois ■ Ohio ■ Michigan  
 ■ Indiana ■ Kentucky ■ Tennessee  
 ■ Missouri ■ Arkansas ■ Louisiana  
 ■ Alabama ■ West Virginia ■ Maryland  
 ■ Delaware ■ Connecticut ■ Rhode Island  
 ■ Massachusetts ■ Vermont ■ New Hampshire  
 ■ Maine ■ Hawaii ■ Alaska  
 ■ Puerto Rico ■ Guam  
 ■ American Samoa ■ Northern Mariana Islands  
 ■ Virgin Islands ■ U.S. Virgin Islands  
 ■ Puerto Rico

**RED BANK OFFICE**  
 Corporate Headquarters  
 331 Newman Springs Road, Suite 203  
 Red Bank, NJ 07701  
 Phone: 732.383.1950 Fax: 732.383.1984  
 State of N.J. Certificate of Authorization: 24GA27986500  
 Copyright © 2021 Maser Consulting. All Rights Reserved. This drawing and all information contained herein is authorized for use only by the party for whom the services were contracted or to whom it is certified. This drawing may not be copied, reused, disclosed, distributed or relied upon for any other purpose without the express written consent of Maser Consulting, P.A.

**T-Mobile**  
 T-MOBILE NORTHEAST LLC  
 4 SYLVAN WAY  
 PARSIPPANY, NJ 07054  
 TEL: (973) 397-4800 FAX: (973) 292-8893

**MT. LAUREL OFFICE**  
 2000 Midlantic Drive  
 Suite 100  
 Mount Laurel, NJ 08054  
 Phone: 856.797.0412  
 Fax: 856.722.1120  
 email: solutions@maserconsulting.com

DEPT.	DATE	APP'D	REVISIONS
RFE			
RF MAN.			
ZONING			
OPS			
CONSTR			
SITE AC.			

SCALE:	JOB NUMBER:
AS SHOWN	19901023A

REV	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
3	07/08/21	REVISED PER COMMENTS	AMN	ASN
2	06/11/21	REVISED PER COMMENTS	AMN	ASN
1	02/17/21	REVISED PER COMMENTS	AMN	ASN
0	01/25/21	ISSUED FOR CONSTRUCTION	AMN	ASN
B	12/02/20	REVISED PER COMMENTS	AMN	ASN
A	11/09/20	ISSUED FOR REVIEW	AMN	ASN

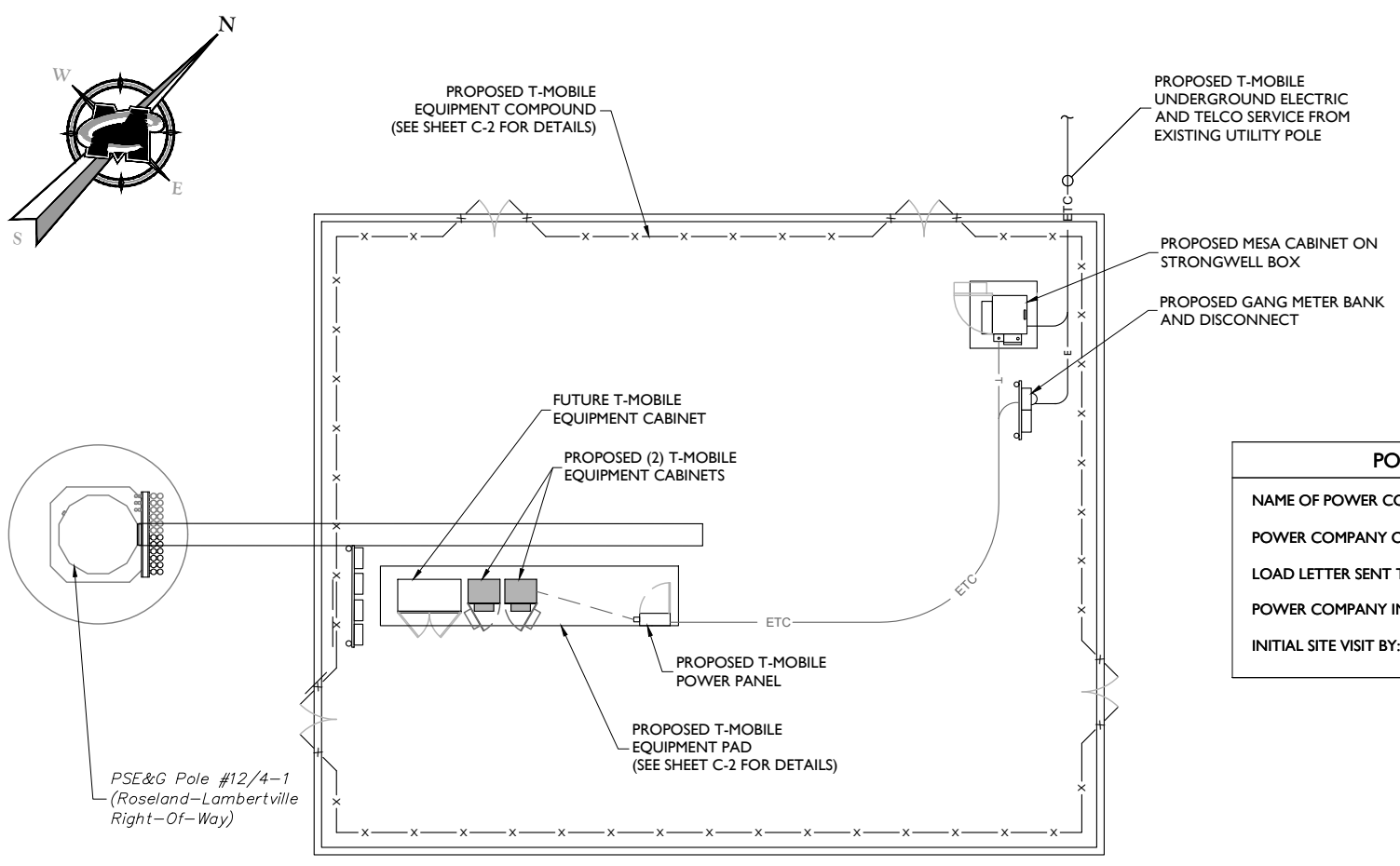
STATE OF NEW JERSEY  
 PROFESSIONAL ENGINEER  
**ALICE J. NORRIS**  
 LICENSE NUMBER: 24GED449800

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF THE RESPONSIBLE LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

PSE&G - LONG HILL  
 NJ06097E  
 PSE&G STEEL POLE #12/4-1  
 ROSELAND-LAMBERTVILLE  
 RIGHT-OF-WAY  
 LONG HILL ROAD  
 LONG HILL TOWNSHIP  
 MORRIS COUNTY  
 NEW JERSEY

SHEET TITLE:  
**ELECTRICAL AND TELEPHONE RISER AND NOTES**

SHEET NUMBER:  
**E-2**



**POWER COMPANY INFORMATION**

NAME OF POWER COMPANY: \_\_\_\_\_

POWER COMPANY ORDER NO.: \_\_\_\_\_ DATE: \_\_\_\_\_

LOAD LETTER SENT TO: \_\_\_\_\_ DATE: \_\_\_\_\_

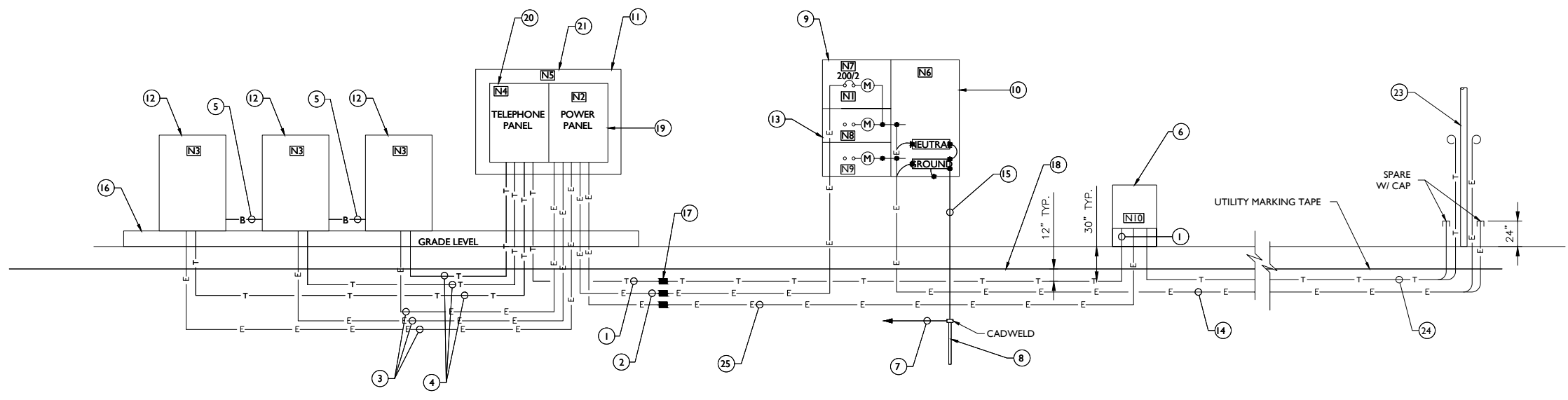
POWER COMPANY INSPECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

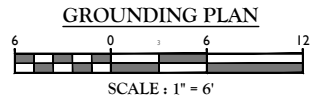
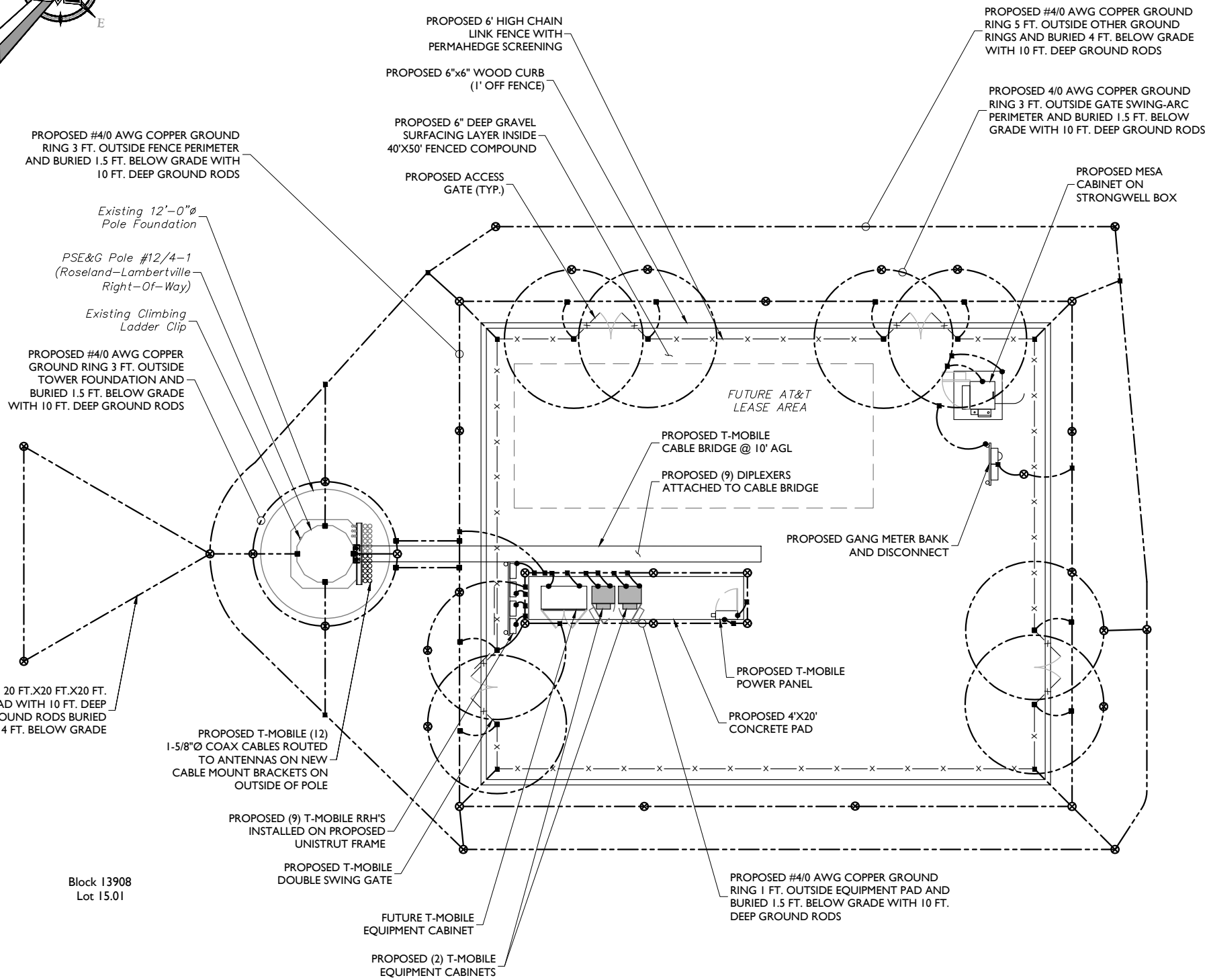
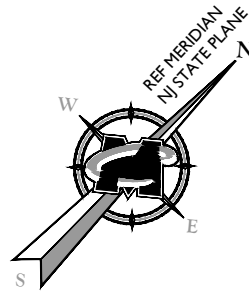
INITIAL SITE VISIT BY: \_\_\_\_\_ DATE: \_\_\_\_\_

**NAMEPLATE TABLE**

TAG NO.	DESCRIPTION
N1	T-MOBILE
N2	POWER PANEL
N3	BTS COMMUNICATION CABINET
N4	TELEPHONE PANEL
N5	PPC MINI
N6	MAIN LUGS SECTION
N7	METER BANK 'MA'
N8	SPARE METER
N9	SPARE METER
N10	MESA TELCO CABINET

- KEYNOTE SYMBOL: (1), (2), ETC.
- (1) 2-1/2" PVC SCH. 40 CONDUIT WITH PULLWIRE.
  - 3#3/0+#14GND IN 2" PVC SCH. 40 CONDUIT.
  - 3#3/0+#14GND IN 2" PVC SCH. 40 CONDUIT.
  - (1) 2" PVC SCH. 40 CONDUIT WITH (3) BELDEN CABLES. CABLE 1: GRAY, PART #1624R F2VA1000; CABLE 2: RED, PART #1624R 002A1000; CABLE 3: BLUE, PART #1642K 006A100. INSTALL CABLE WITHOUT SPLICE FROM BTS EQUIPMENT CABINET TO TELCO PANEL SECTION OF PPC MINI. LEAVE 10'-0" OF SLACK CABLE AT EACH END.
  - (1) 3" LFMC WITH PULLWIRE.
  - MESA CABINET.
  - #1/0 AWG BCW. CONNECT TO GROUND RING. TO BE CADWELDED ON SERVICE GROUND ROD.
  - 3/4" DIAMETER X 10 FEET COPPER CLAD SERVICE GROUND ROD.
  - OUTDOOR 2-METER SOCKET METER STACK SECTION FOR METER BANK TO BE IDENTIFIED 'MA', 1-PHASE INPUT, 1-PHASE OUTPUT, 120/240VAC, 3-WIRE, 200A MAXIMUM PER SOCKET. SQUARE D OR APPROVED EQUAL.
  - (1) OUTDOOR MAIN LUGS SECTION OF METER BANK 600A MINIMUM, 120/240VAC, 1-PHASE, 3-WIRE. SQUARE D OR APPROVED EQUAL.
  - (1) PPC MINI TO BE FURNISHED BY T-MOBILE. INSTALLED AND WIRED BY E.C.
  - (1) TELECOMMUNICATION EQUIPMENT CABINET TO BE FURNISHED BY T-MOBILE. INSTALLED AND WIRED BY E.C.
  - SPARE METER/DISCONNECT SWITCH COMPARTMENT FOR (2) FUTURE CO-LOCATORS. SEE METER DETAIL.
  - (2) SETS OF 3#350KCM XHHW-2 IN (2) 4" PVC SCH. 80 CONDUITS. E.C. SHALL COMPLY WITH PSE&G UNDERGROUND SERVICE, POLE RISERS AND CABLE SLACK REQUIREMENTS.
  - (1) #6AWG IN 3/4" PVC SCH. 40 CONDUIT SUPPLEMENTAL GROUNDING CONDUCTOR.
  - CONCRETE PAD.
  - PVC TO RGS ADAPTER AND COUPLING, TYP.
  - 6" WIDE WARNING TAPE. 12" MINIMUM ABOVE BURIED CONDUIT, TYP.
  - POWER PANEL SECTION OF PPC MINI.
  - TELEPHONE SECTION OF PPC MINI.
  - NAMEPLATE, TYPICAL. SEE NAMEPLATE TABLE.
  - CABLE BRIDGE.
  - EXISTING UTILITY POLE.
  - (2) 4" PVC SCH. 80 CONDUIT WITH PULLWIRE FOR TELCO.
  - 20A CIRCUIT: 2#10+10GND IN 2-1/2" PVC SCH. 40.





**CONSTRUCTION SCOPE OF WORK:**

- THE SITE HAS A METAL CHAIN LINK FENCE THAT REQUIRES A 4/0 GROUND RING INSTALLED 3 FT OUTSIDE ITS PERIMETER, BURIED 1.5 FT BELOW-GRADE, WITH 10-FT GROUND RODS AT 10-FT INTERVALS.
- TOWER 4/0 GROUND RING EXTENDING 3 FT. OUTSIDE PERIMETER, INSTALLED 1.5 FT. BELOW GRADE, WITH 10-FT. GROUND RODS AT 20-FT. INTERVALS.
- EQUIPMENT 4/0 GROUND RING 1 TO 3 FT. OUTSIDE PERIMETER, INSTALLED 1.5 FT BELOW GRADE, WITH 10-FT. GROUND RODS AT 20-FT. INTERVALS.
- INSTALL 4/0 GROUND CONDUCTORS ALONG CABLE BRIDGE, INSTALLED 1.5 FT. BELOW GRADE, TO CONNECT TOWER TO COMPOUND RING.
- GATE SWING-ARC GROUND RINGS EXTENDING 3 FT PAST ALL OF THE SWING-ARC RADIUS OF THE GATES, BURIED 1.5 FT BELOW-GRADE WITH GROUND RODS AS SHOWN.
- OUTER 4/0 GROUND RING, 5 FT. OUTSIDE OTHER RINGS AND BURIED 4 FT. BELOW GRADE, WITH 10- FT. GROUND RODS AT SHOWN.
- 20-FT X 20-FT X 20-FT TRIANGULAR (TRIAD) GROUND SYSTEM INSTALLED 4-FT BELOW-GRADE WITH 10- FT GROUND RODS AS SHOWN.
- EQUIPMENT PAD AND AUXILIARY EQUIPMENT MUST BE BONDED TO GROUND RING.
- POWER IS TO BE PROVIDED VIA AN ISOLATION TRANSFORMER. UNGROUNDED PHASE-ONLY POWER (NO NEUTRAL AND NO GROUND) IS TO BE PROVIDED TO THE SITE FROM THE UTILITY THROUGH THE UNDERGROUND CONDUIT TO THE SITE. AN ISOLATION TRANSFORMER SHALL BE USED TO GENERATE A NEW NEUTRAL AND GROUND AT THE SITE. BOND TRANSFORMER X0 DIRECTLY TO GROUND RING.
- NUMEROUS BONDING JUMPERS ARE REQUIRED AS SHOWN IN DRAWING.
- BOND ALL METALLIC COMPOUND COMPONENTS AND STEEL REBAR TO THE COPPER GROUNDING
- AT LEAST TWO (2) TEST WELLS SHALL BE INSTALLED AT OPPOSITE CORNERS OF THE FENCE GROUND RING. SEE BACK OF THIS REPORT FOR TEST WELL INSTALLATION INSTRUCTIONS.
- CRUSHED ROCK AND/OR ASPHALT MAY BE USED AS NEEDED.
- GROUNDING/EARTHING (GROUND) ENHANCEMENT MATERIALS ARE NOT ALLOWED. COPPER CONDUCTORS AND GROUND RODS ARE TO BE SURROUNDED BY NATIVE SOILS ONLY.

**GENERAL CONSTRUCTION SPECIFICATIONS:**

- Minimum 4/0 AWG bare copper conductor
- Ground grid buried 18 inches below grade and buried in direct contact with earth
- Bond fence and swing gates to ground grid per IEEE Std. 80
- Bond ground grid to local power meter
- Minimum of six (6) 10-ft x 3/4-in copper clad driven ground rods
- Exothermic weld ground ring to all tower legs
- Ground ring around fence line and concrete pads 3 ft. outside perimeter
- Crushed rock, when needed, shall be 6 inches of 3/4-inch blue stone gravel

**MASER CONSULTING**  
WILL BE KNOWN AS COLLERS ENGINEERING & DESIGN IN 2021  
Customer Loyalty Through Client Satisfaction  
www.maserconsulting.com  
Engineers Planners Surveyors  
Landscape Architects Environmental Scientists

Office Locations:

- New Jersey: Trenton, Camden, Hamilton, Egg Harbor, Gloucester, Mt. Arlington, Mt. Laurel, New York, New Windsor, Westchester
- Pennsylvania: Allentown, Erie, Harrisburg, Lancaster, Lehigh Valley, Philadelphia, Pittsburgh, York
- North Carolina: Raleigh, Virginia
- New Mexico: Albuquerque
- Tennessee: Nashville
- Texas: Houston

RED BANK OFFICE  
Corporate Headquarters  
331 Newman Springs Road, Suite 203  
Red Bank, NJ 07701  
Phone: 732.383.1950 Fax: 732.383.1984

State of N.J. Certificate of Authorization: 24GA27986500  
Copyright © 2021 Maser Consulting. All Rights Reserved. This drawing and all the information contained herein is authorized for use only by the party for whom the services were contracted or to whom it is certified. This drawing may not be copied, reused, disclosed, distributed or relied upon for any other purpose without the express written consent of Maser Consulting, P.A.

**T-Mobile**

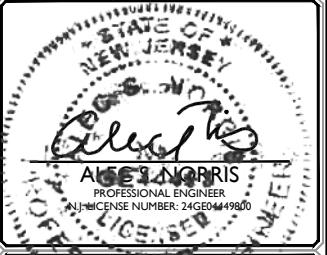
T-MOBILE NORTHEAST LLC  
4 SYLVAN WAY  
PARSIPPANY, NJ 07054  
TEL: (973) 397-4800 FAX: (973) 292-8893

MT. LAUREL OFFICE  
2000 Midlantic Drive  
Suite 100  
Mount Laurel, NJ 08054  
Phone: 856.797.0412  
Fax: 856.722.1120  
email: solutions@maserconsulting.com

DEPT.	DATE	APP'D	REVISIONS
RFE			
RF MAN.			
ZONING			
OPS			
CONSTR.			
SITE AC.			

SCALE:	JOB NUMBER:
AS SHOWN	19901023A

REV	DATE	DESCRIPTION	AMN	ASN
3	07/08/21	REVISED PER COMMENTS	AMN	ASN
2	06/11/21	REVISED PER COMMENTS	AMN	ASN
1	02/17/21	REVISED PER COMMENTS	AMN	ASN
0	01/25/21	ISSUED FOR CONSTRUCTION	AMN	ASN
B	12/02/20	REVISED PER COMMENTS	AMN	ASN
A	11/09/20	ISSUED FOR REVIEW	AMN	ASN



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF THE RESPONSIBLE LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

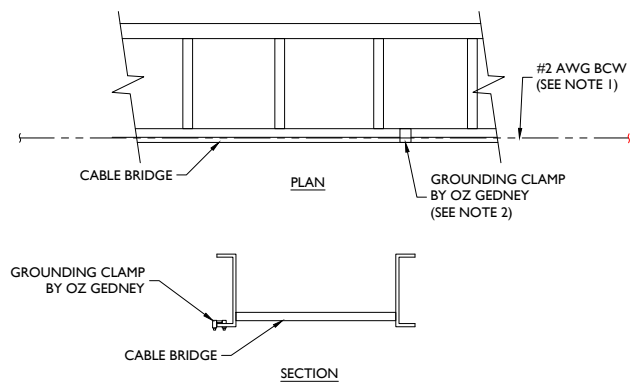
PSE&G - LONG HILL  
NJ06097E  
PSE&G STEEL POLE #12/4-1  
ROSELAND-LAMBERTVILLE  
RIGHT-OF-WAY

LONG HILL ROAD  
LONG HILL TOWNSHIP  
MORRIS COUNTY  
NEW JERSEY

SHEET TITLE:  
**GROUNDING PLAN AND NOTES**

SHEET NUMBER:  
**G-1**

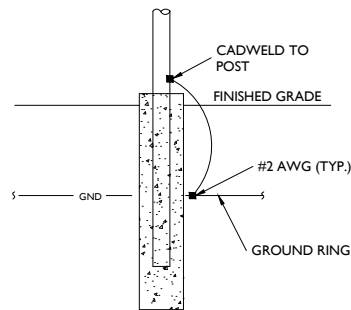
OWNERSHIP OF DOCUMENTS:  
IT IS UNLAWFUL FOR ANY PERSON TO AMEND ANY ASPECT OF THESE DRAWINGS UNLESS THEY HAVE THE APPROVAL OF THE LICENSED PROFESSIONAL IN WRITING.



- NOTES:
- GROUND WIRE CONNECTED TO RING GROUND.
  - TYPICAL FOR EACH SECTION OF CABLE BRIDGE.

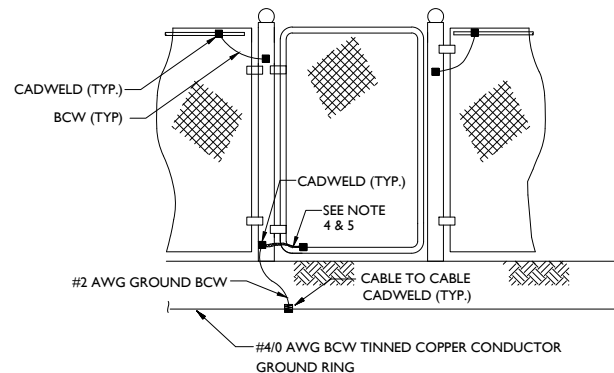
### CABLE BRIDGE GROUNDING DETAIL

NOT TO SCALE

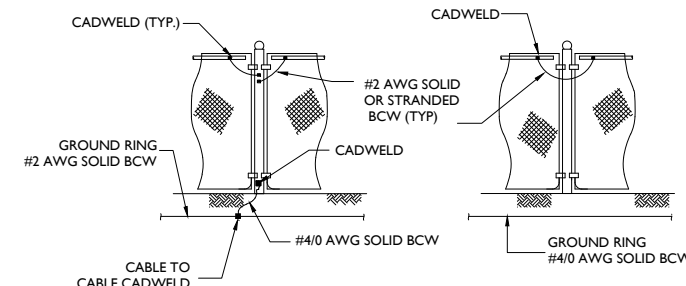


### TYPICAL CABLE BRIDGE POST GROUNDING DETAIL

NOT TO SCALE



### FENCE GATE GROUND



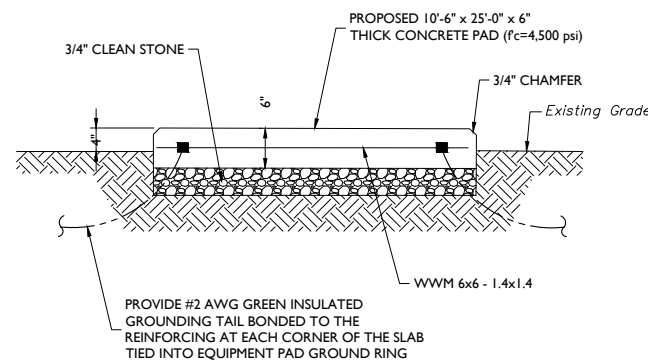
### VERTICAL POST CONNECTED TO RING

### VERTICAL POST NOT CONNECTED TO RING

- NOTES:
- VERTICAL POSTS SHALL BE BONDED TO THE RING AT EACH CORNER AND AT EACH GATE POST. AS A MINIMUM ONE VERTICAL POST SHALL BE BONDED TO THE GROUND RING IN EVERY 100 FOOT STRAIGHT RUN OF FENCE.
  - HORIZONTAL POLES SHALL BE BONDED TO EACH OTHER.
  - BOND EACH HORIZONTAL POLE/BRAVE TO EACH OTHER AND TO EACH VERTICAL POST THAT IS BONDED TO THE EXTERIOR GROUND RING.
  - GATE JUMPER SHALL BE #4/0 AWG WELDING CABLE OR FLEXIBLE COPPER BRAID BURNDY TYPE B WITH SLEEVES ON EACH END DESIGNED FOR EXOTHERMIC WELDING.
  - GATE JUMPER SHALL BE INSTALLED SO THAT IT WILL NOT BE SUBJECTED TO DAMAGING STRAIN WHEN GATE IS FULLY OPEN IN EITHER DIRECTION.

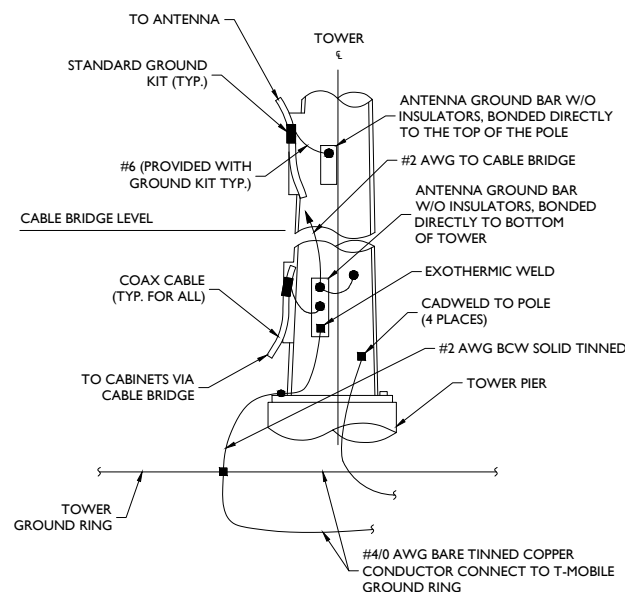
### FENCE GROUNDING DETAIL

NOT TO SCALE



### CONCRETE PAD GROUNDING DETAIL

NOT TO SCALE



### TOWER GROUNDING DETAIL

NOT TO SCALE

### INSTALLATION NOTES:

- CUT AND REMOVE A 2" SECTION OF CABLE JACKET SHOWN IN FIGURE #1. USE CARE NOT TO GOUGE OR CRUSH THE CABLE.
- CLEAN THE EXPOSED SURFACE OF THE OUTER CONDUCTOR WITH BRONZE OR STEEL WOOL UNTIL THE SURFACE IS CLEAN AND BRIGHT. ALSO CLEAN 1" OF THE JACKET EACH SIDE OF THE CUT SURFACE WITH A CLEAN CLOTH.
- WRAP THE COPPER GROUNDING CLAMP AROUND THE EXPOSED OUTER CONDUCTOR. SECURE THE GROUNDING CLAMP WITH THE STAINLESS STEEL HOSE CLAMP AS SHOWN IN FIGURE #1 AND #2.
- ATTACH THE TWO HOLE GROUNDING LUG TO THE CABLE GROUNDING CLAMP WITH 1/4"-20 HARDWARE. SEE FIGURE 32.
- CLEAN THE SURFACE THOROUGHLY WHERE THE SINGLE HOLE GROUNDING LUG IS TO BE CONNECTED. THE GROUNDING SURFACE MUST BE CLEAN OF ANY PAINT, GREASE, RUST OR OXIDATION FOR A GOOD ELECTRICAL CONTACT. THE GROUNDING SURFACE SHOULD BE A METAL TOWER MEMBER OR DOWN CONDUCTOR LOCATED BELOW THE GROUNDING CLAMP. THE GROUNDING WIRE SHOULD BE RUN STRAIGHT DOWN - NO DRIP LOOP. SEE FIGURE #2.
- BOLT THE GROUNDING LUG ONTO THE PREPARED SURFACE WITH A 3/8" - 16 HARDWARE. AFTER TIGHTENING, PAINT THE GROUNDING LUG AND SURROUNDING AREA WITH A ZINC BASED CORROSION CONTROL PAINT.
- WRAP THE GROUNDING LUG AND WIRE AT THE CLAMP ASSEMBLY WITH SEVERAL TURNS OF PUTTY TAPE AS SHOWN IN FIGURE #3. FORM THE PUTTY BY HAND AROUND THE GROUNDING CLAMP AND JACKET BY HAND TO ASSURE A WEATHERPROOF SEAL. SEE FIGURE 34. TO COMPLETE WEATHERPROOFING, APPLY FOUR LAYERS OF ELECTRICAL TAPE OVER THE PUTTY COVERED CONNECTION. OVERLAP EACH TURN, STRETCHING THE TAPE SLIGHTLY WHILE APPLYING THE FIRST TWO LAYERS AND LIGHTLY WRAPPING THE LAST TWO LAYERS. COMPRESS WRAPPINGS WITH BOTH HANDS TO ENSURE COMPLETE CONTACT WITH ALL LAYERS OF TAPE.

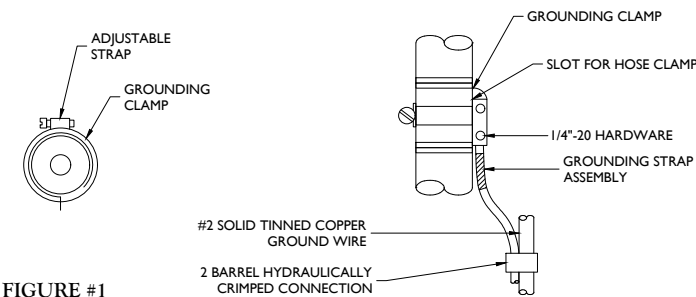


FIGURE #1

FIGURE #2

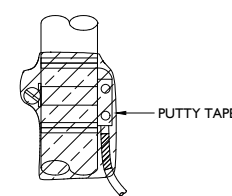


FIGURE #3

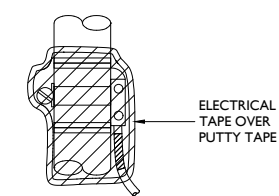
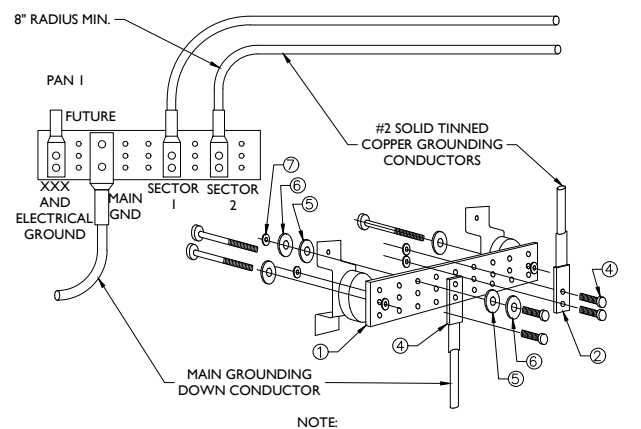


FIGURE #4

### GROUNDING INSTALLATION DETAIL

NOT TO SCALE



NOTE

THERE ARE ADDITIONAL CONNECTIONS TO THE MASTER GROUND BAR THAT ARE NOT SHOWN IN THIS DETAIL.

### MASTER GROUND TERMINAL DETAIL

NOT TO SCALE

### KEY NOTES:

- ALL COAXIAL CABLES LEAVING THE COMMUNICATIONS CABINET SHALL BE GROUND AT THIS POINT VIA CABLE GROUND KITS, NEWTON INSTRUMENT COMPANY OR EQUAL. #B-6142 (GROUND BAR 20" x 4" x 1/4") #3601-4 (INSULATORS) #3015-8 (5/8" LOCKWASHERS) #A-6058 (WALL MOUNTING BRACKETS) #3012-1 (5/8"-11 x 1" H.H.C.S. BOLTS)
- HYDRAULICALLY COMPRESSED LONG BARREL 2-HOLE GROUNDING LEG FOR THE GROUNDING CONNECTORS BETWEEN CABLE AND THE MASTER GROUND BAR TERMINAL. THOMAS & BETTS #54811 BE OR EQUAL.
- HYDRAULICALLY COMPRESSED LONG BARREL 2-HOLE GROUNDING LUG FOR THE MAIN LUG FOR THE MAIN GROUNDING DOWN CONDUCTOR BETWEEN THE MASTER GROUND BAR TERMINAL AND THE MAIN GROUNDING ELECTRODE THOMAS & BETTS #54852BE OR EQUAL.
- 3/8" DIAMETER STAINLESS STEEL BOLTS TO CONNECT GROUNDING LUG TO THE GROUND BAR (TYPICAL).
- 3/8" STAINLESS FLAT WASHER (TYPICAL).
- 3/8" STAINLESS STEEL LOCK WASHER.
- 3/8" HEX HEAD STAINLESS STEEL NUT (TYPICAL).



**MASER CONSULTING**  
 WILL BE KNOWN AS COLLIER ENGINEERING & DESIGN IN 2021  
 Customer Loyalty Through Client Satisfaction  
 www.maserconsulting.com  
 Engineers Planners Surveyors  
 Landscape Architects Environmental Scientists  
 Office Locations:

**RED BANK OFFICE**  
 Corporate Headquarters  
 331 Newman Springs Road, Suite 203  
 Red Bank, NJ 07701  
 Phone: 732.383.1950 Fax: 732.383.1984  
 State of N.J. Certificate of Authorization: 24GA27986500  
 Copyright © 2021 Maser Consulting. All Rights Reserved. This drawing and all the information contained herein is authorized for use only by the party for whom the services were contracted or to whom it is certified. This drawing may not be copied, reused, disclosed, distributed or relied upon for any other purpose without the express written consent of Maser Consulting, P.A.



**T-MOBILE NORTHEAST LLC**  
 4 SYLVAN WAY  
 PARSIPPANY, NJ 07054  
 TEL: (973) 397-4800 FAX: (973) 292-8893

**MT. LAUREL OFFICE**  
 2000 Midlantic Drive  
 Suite 100  
 Mount Laurel, NJ 08054  
 Phone: 856.797.0412  
 Fax: 856.722.1120  
 email: solutions@maserconsulting.com

DEPT.	DATE	APP'D	REVISIONS
RFE			
RF MAN.			
ZONING			
OPS			
CONSTR.			
SITE AC.			

SCALE	JOB NUMBER
AS SHOWN	19901023A

REV	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
3	07/08/21	REVISED PER COMMENTS	AMN	ASN
2	06/11/21	REVISED PER COMMENTS	AMN	ASN
1	02/17/21	REVISED PER COMMENTS	AMN	ASN
0	01/25/21	ISSUED FOR CONSTRUCTION	AMN	ASN
B	12/02/20	REVISED PER COMMENTS	AMN	ASN
A	11/09/20	ISSUED FOR REVIEW	AMN	ASN



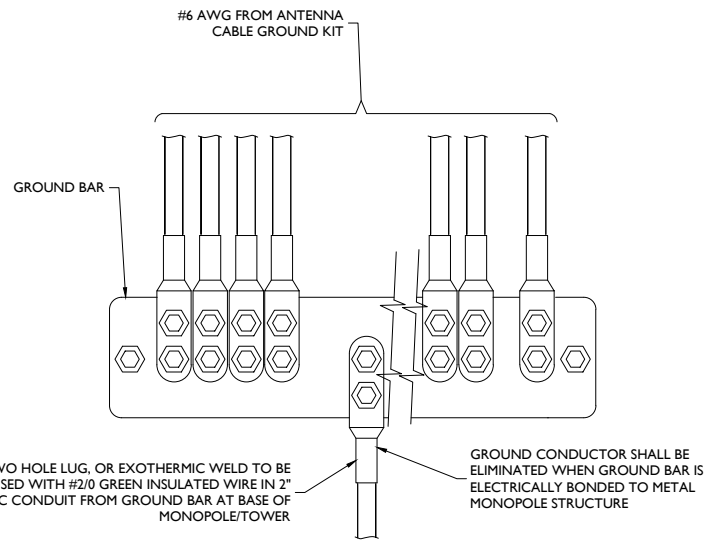
IT IS THE POLICY OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF THE RESPONSIBLE LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

**PSE&G - LONG HILL**  
 NJ06097E  
 PSE&G STEEL POLE #12/4-1  
 ROSELAND-LAMBERTVILLE  
 RIGHT-OF-WAY  
 LONG HILL ROAD  
 LONG HILL TOWNSHIP  
 MORRIS COUNTY  
 NEW JERSEY

SHEET TITLE:  
**GROUNDING DETAILS - I**

SHEET NUMBER:  
**G-2**

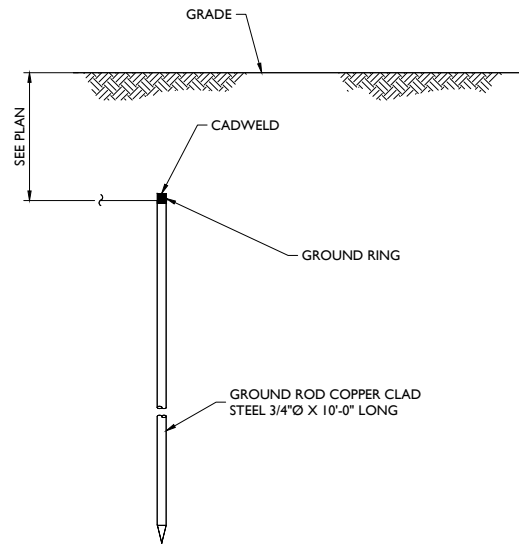
OWNERSHIP OF DOCUMENTS:  
 IT IS UNLAWFUL FOR ANY PERSON TO AMEND ANY ASPECT OF THESE DRAWINGS UNLESS THEY HAVE THE APPROVAL OF THE LICENSED PROFESSIONAL IN WRITING.



\*DESIGNER NOTE:  
GROUND BARS AT THE BOTTOM OF TOWERS/MONOPOLES SHALL ONLY USE EXOTHERMIC WELDS.

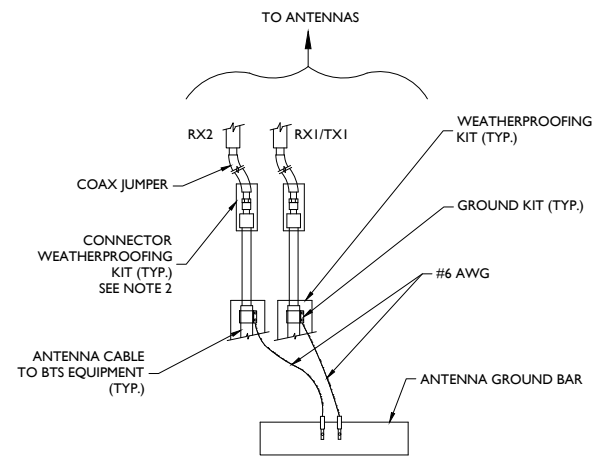
### INSTALLATION OF GROUND WIRE TO GROUND BAR

NOT TO SCALE



### GROUND ROD

NOT TO SCALE

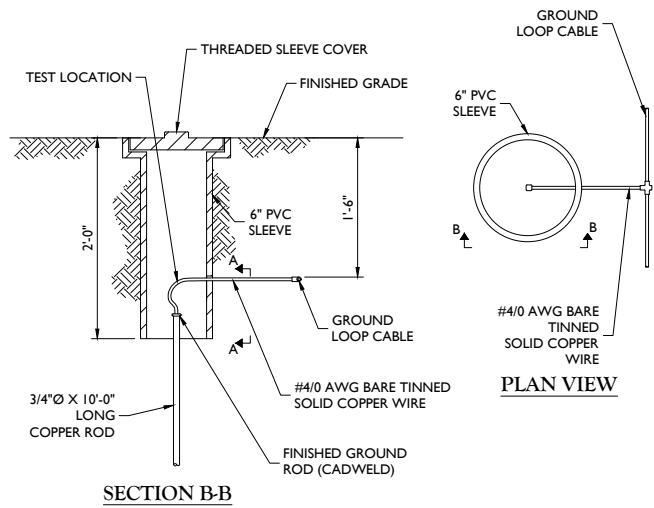


### NOTES:

- DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO ANTENNA GROUND BAR.
- WEATHER PROOFING SHALL BE TWO-PART TAPE KIT, COLD SHRINK SHALL NOT BE USED.

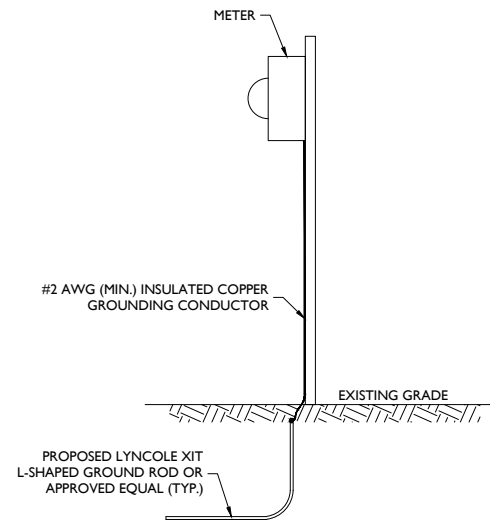
### GROUND BAR WIRE TO GROUNDING BAR

NOT TO SCALE



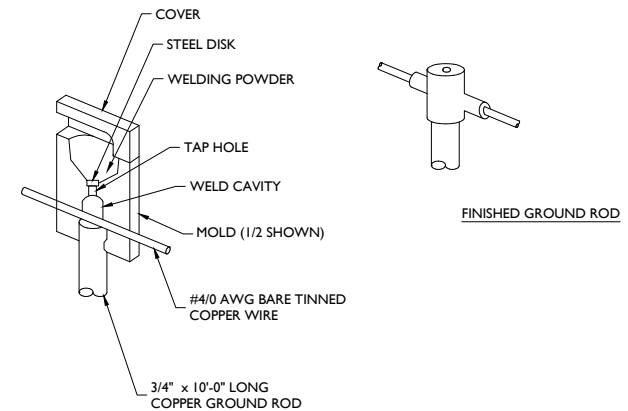
### GROUND ROD INSPECTION WELL

NOT TO SCALE



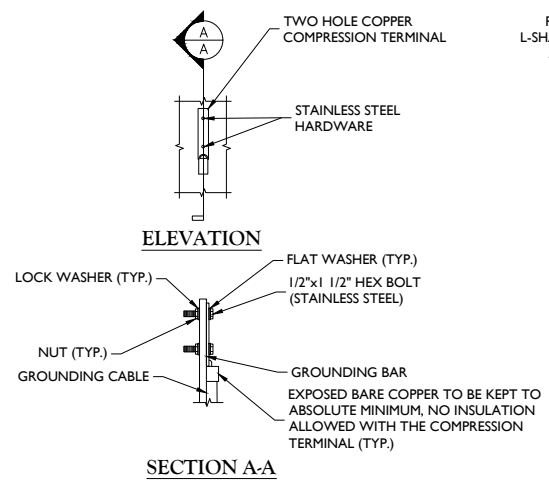
### METER GROUNDING

NOT TO SCALE



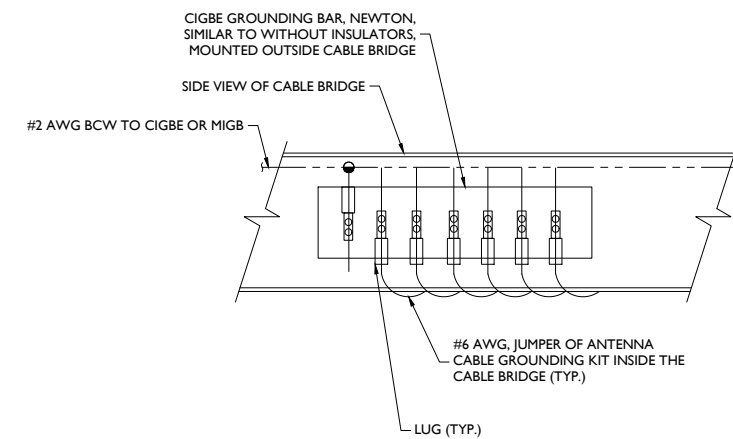
### TYPICAL GROUND ROD TO CABLE CONNECTION

NOT TO SCALE



### TYPICAL GROUND BAR CONNECTION DETAIL

NOT TO SCALE



### GROUND BAR MOUNTED ON CABLE BRIDGE

NOT TO SCALE



WILL BE KNOWN AS COLLERS ENGINEERING & DESIGN IN 2021  
Customer Loyalty Through Client Satisfaction  
www.maserconsulting.com  
Engineers Planners Surveyors  
Landscape Architects Environmental Scientists  
Office Locations:  
New Jersey: Camden, Elizabeth, Egg Harbor, Gloucester, Mt. Arlington, Newark, New York, New Windsor, Westchester  
Pennsylvania: Allentown, Erie, Harrisburg, Lancaster, Lehigh Valley, York  
North Carolina: Raleigh, Virginia: Charlottesville, New Mexico: Albuquerque, Tennessee: Knoxville, Texas: Austin

RED BANK OFFICE  
Corporate Headquarters  
331 Newman Springs Road, Suite 203  
Red Bank, NJ 07701  
Phone: 732.383.1950 Fax: 732.383.1984  
State of N.J. Certificate of Authorization: 24GA27986500  
Copyright © 2021 Maser Consulting. All Rights Reserved. This drawing and all information contained herein is authorized for use only by the party for whom the services were contracted or to whom it is certified. This drawing may not be copied, reused, disclosed, distributed or relied upon for any other purpose without the express written consent of Maser Consulting, P.A.



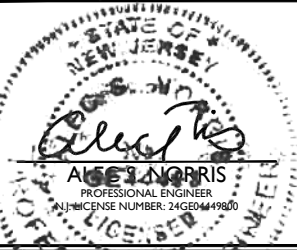
T-MOBILE NORTHEAST LLC  
4 SYLVAN WAY  
PARSIPPANY, NJ 07054  
TEL: (973) 397-4800 FAX: (973) 292-8893

MT. LAUREL OFFICE  
2000 Midlantic Drive  
Suite 100  
Mount Laurel, NJ 08054  
Phone: 856.797.0412 Fax: 856.722.1120  
email: solutions@maserconsulting.com

DEPT.	DATE	APP'D	REVISIONS
RFE			
RF MAN.			
ZONING			
OPS			
CONSTR.			
SITE AC.			

SCALE	JOB NUMBER
AS SHOWN	19901023A

REV	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
3	07/08/21	REVISED PER COMMENTS	AMN	ASN
2	06/11/21	REVISED PER COMMENTS	AMN	ASN
1	02/17/21	REVISED PER COMMENTS	AMN	ASN
0	01/25/21	ISSUED FOR CONSTRUCTION	AMN	ASN
B	12/02/20	REVISED PER COMMENTS	AMN	ASN
A	11/09/20	ISSUED FOR REVIEW	AMN	ASN



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF THE RESPONSIBLE LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

PSE&G - LONG HILL  
NJ06097E  
PSE&G STEEL POLE #12/4-1  
ROSELAND-LAMBERTVILLE  
RIGHT-OF-WAY  
LONG HILL ROAD  
LONG HILL TOWNSHIP  
MORRIS COUNTY  
NEW JERSEY

SHEET TITLE:  
GROUNDING DETAILS - 2

SHEET NUMBER:  
G-3



Engineers  
 Planners  
 Surveyors  
 Landscape Architects  
 Environmental Scientists

2000 Midlantic Drive, Suite 100  
 Mount Laurel, NJ 08054  
 T: 856.797.0412  
 F: 856.722.1120  
 www.maserconsulting.com

**ZONING TABLE**

**FILL IN ALL APPLICABLE BOXES**

<b>Property Address:</b> PSE&G Steel Tower 12/4-1 Roseland-Lambertville Right-Of-Way				
<b>Block:</b> 13908	<b>Lot:</b> 15.01	<b>Zone:</b> C	<b>Total Square Feet:</b> 217,800 s.f.	
<b>Is this property in a density modification subdivision?</b> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>				
BULK REQUIREMENTS	REQUIRED / ALLOWED	EXISTING	PROPOSED	VARIANCE
Lot Area	3 Acres	5 Acres	No Change	No
Lot Width (Feet)	250 ft	150 ft	No Change	Existing Nonconformity
Floor Area (Square Feet)	1,500 sf	220 +/- sf	No Change	Existing nonconformity
Building Width (Feet)	N/A	N/A	N/A	
Front Yard Setback (Feet)	75 ft	118ft +/- *	920ft +/-	No
Side Yard Setback (Feet)	25 ft	5.4 ft +/- *	54 ft +/-	No
Rear Yard Setback (Feet)	50 ft	1,350 ft +/- *	542 ft +/-	No
Building Height (Stories & Feet)	2-1/2 stories/35 ft	123 ft	171.5ft +/-	Yes
Building Coverage (Percent)	N/A	N/A	N/A	
Lot Coverage (Percent)	15%	8%	8%	No
Floor Area Ratio (FAR – Percent)	---	----	----	----
Buffer (Feet)	---	---	---	----

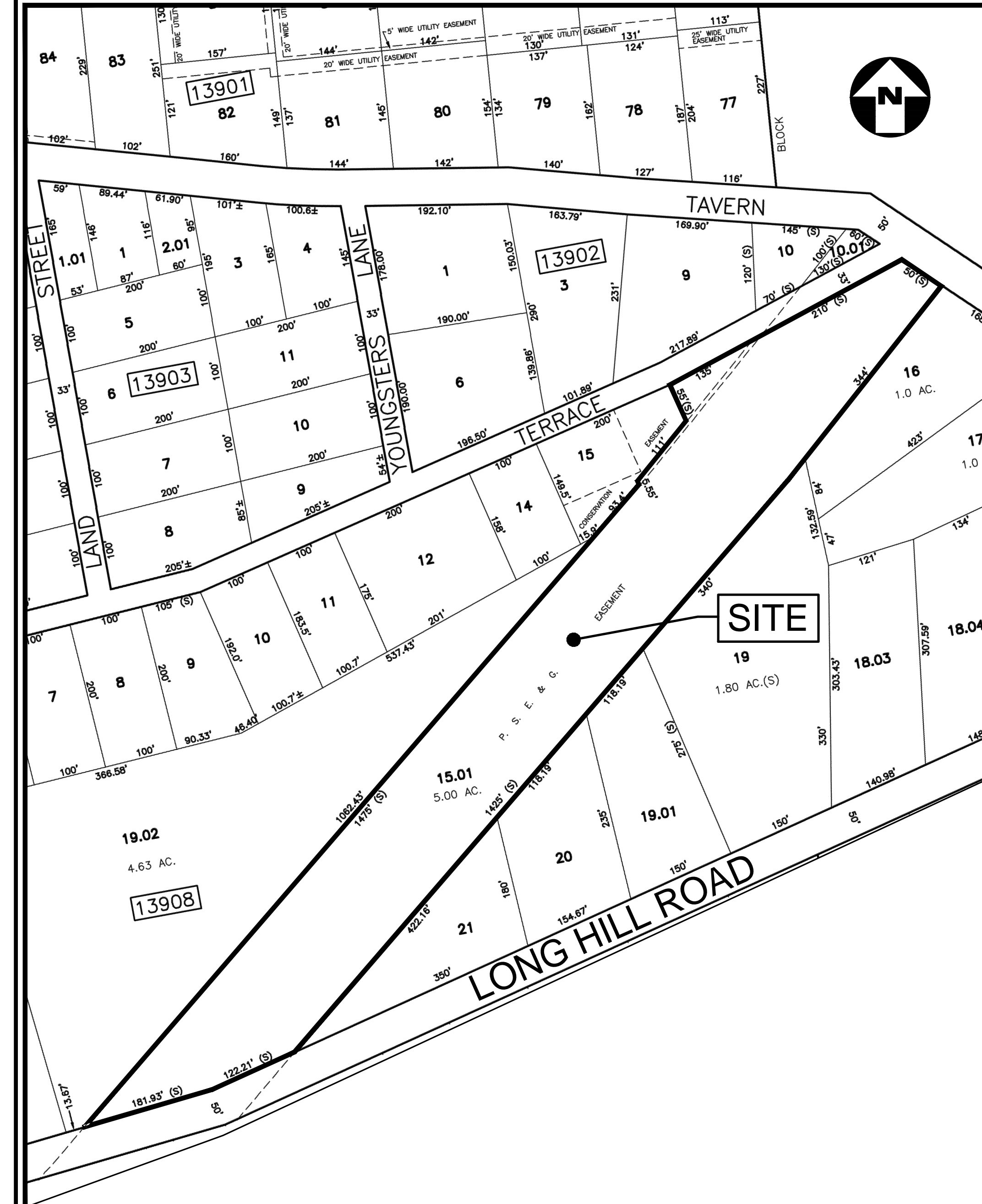
**Certification by preparer:**

*Alec S. Norris*



**Alec S. Norris, NJPE # 24GE04449800**

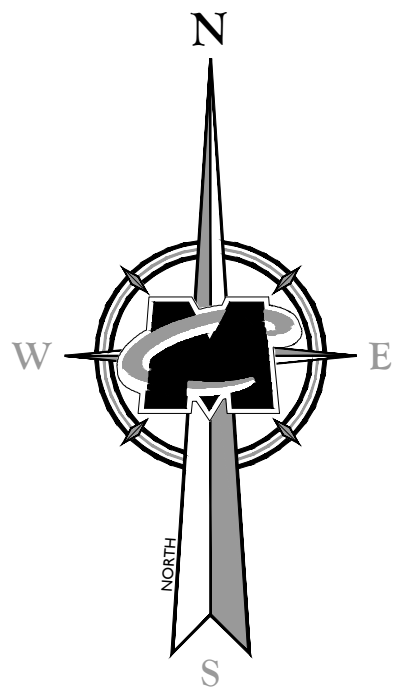
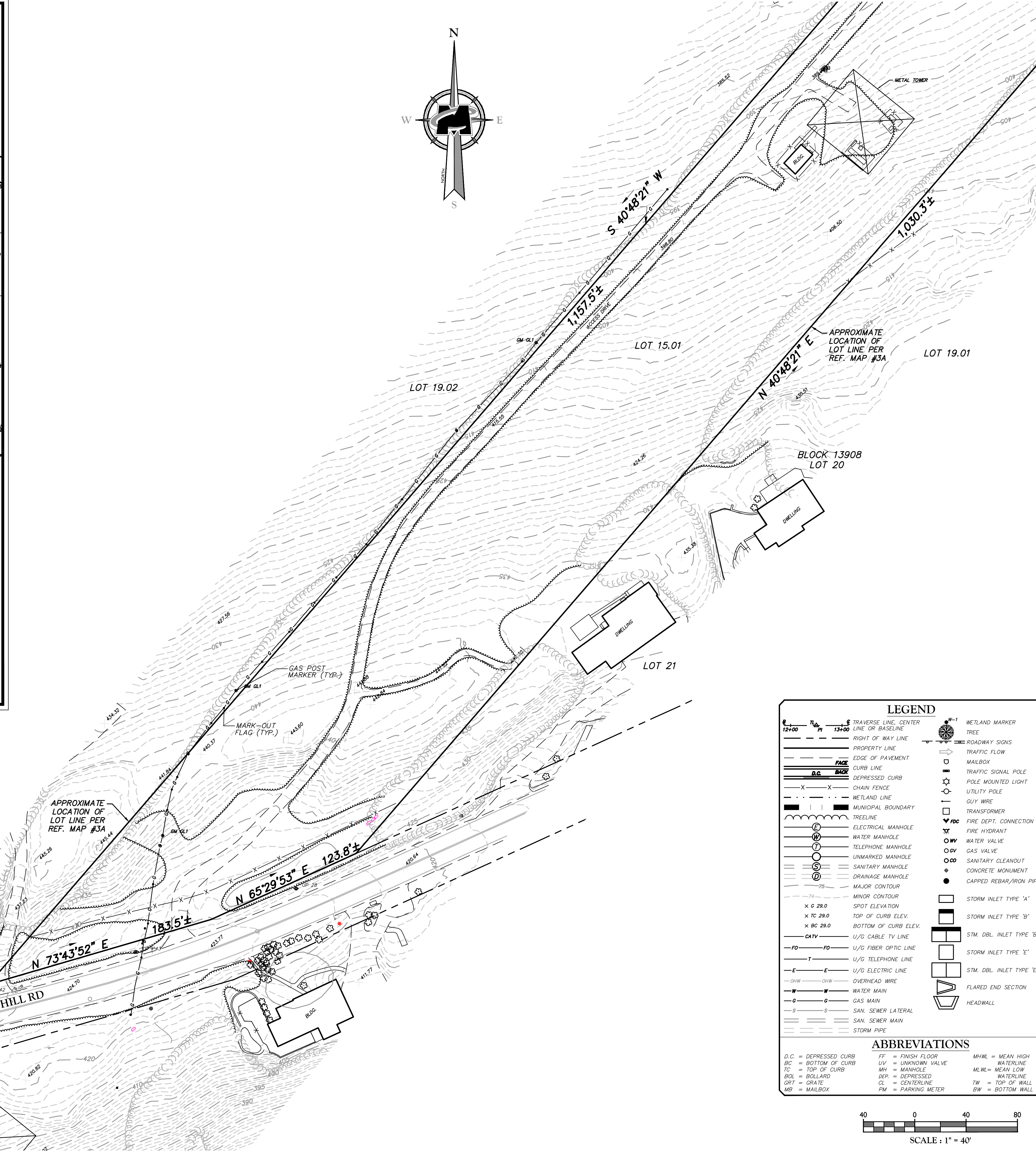




13901  
13902  
13903  
13908

INFORMATION OF FACT

- PROPERTY KNOWN AS PART OF LOT 15.01, BLOCK 13908, TAX MAP SHEET NO. 39, OF THE TOWNSHIP OF LONG HILL, MORRIS COUNTY, STATE OF NEW JERSEY.
- PROPERTY LINE DATA SHOWN HEREON ARE APPROXIMATE PER TAX MAP AND REFERENCE MAP #3A. A BOUNDARY SURVEY WAS NOT PERFORMED.
- REFERENCES
  - PLAN ENTITLED "ROSELAND SWITCH TO BRANCHBURG SWITCH, UPGRADE PROJECT, LONG HILL TWP., MORRIS CO., NJ.", DATED FEBRUARY 22, 2019, BY PSE&G SERVICES CORPORATION, SURVEYS AND MAPPING, SHEET #21.
- SITE FEATURES AND TOPOGRAPHIC SHOWN HERE ON THIS PLAN ARE BASED ON REFERENCE MAP #3 AND FIELD VERIFIED BY MASER CONSULTING ON 10/31/2019.
- HORIZONTAL DATUM = NORTH AMERICAN DATUM OF 1983 (NAD 83) (NEW JERSEY STATE PLANE COORDINATE SYSTEM)  
VERTICAL DATUM = NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)
- GAS LINE LOCATED BY SUBSURFACE UTILITY ENGINEERING (SUE) METHODS AND FIELD LOCATION ON 10/31/2019
- CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE UNDERSIGNED PROFESSIONAL IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT AND MAY HAVE BEEN ALTERED.

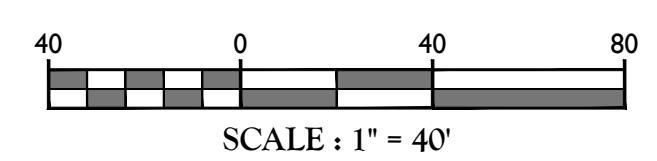


**LEGEND**

—+—	TRaverse LINE, CENTER LINE OR BASELINE	—+—	WETLAND MARKER
—	RIGHT OF WAY LINE	—	TREE
—	PROPERTY LINE	—	ROADWAY SIGNS
—	EDGE OF PAVEMENT	—	MAILBOX
—	CURB LINE	—	TRAFFIC SIGNAL POLE
—	DEPRESSED CURB	—	POLE MOUNTED LIGHT
X X	CHAIN FENCE	—	UTILITY POLE
—	WETLAND LINE	—	GUY WIRE
—	MUNICIPAL BOUNDARY	—	TRANSFORMER
—	TREELINE	—	FIRE DEPT. CONNECTION
—	ELECTRICAL MANHOLE	—	FIRE HYDRANT
—	WATER MANHOLE	—	WATER VALVE
—	TELEPHONE MANHOLE	—	GAS VALVE
—	UNMARKED MANHOLE	—	SANITARY CLEANOUT
—	SANITARY MANHOLE	—	CONCRETE MONUMENT
—	DRAINAGE MANHOLE	—	CAPPED REBAR/IRON PIPE
—	MAJOR CONTOUR	—	STORM INLET TYPE 'A'
—	MINOR CONTOUR	—	STORM INLET TYPE 'B'
X G 29.0	SPOT ELEVATION	—	STM. DBL. INLET TYPE 'B'
X TC 29.0	TOP OF CURB ELEV.	—	STORM INLET TYPE 'E'
X BC 29.0	BOTTOM OF CURB ELEV.	—	STM. DBL. INLET TYPE 'E'
—	U/G CABLE TV LINE	—	FLARED END SECTION
—	U/G FIBER OPTIC LINE	—	HEADWALL
—	U/G TELEPHONE LINE		
—	U/G ELECTRIC LINE		
—	OVERHEAD WIRE		
—	WATER MAIN		
—	GAS MAIN		
—	SAN. SEWER LATERAL		
—	SAN. SEWER MAIN		
—	STORM PIPE		

**ABBREVIATIONS**

D.C.	= DEPRESSED CURB	FF	= FINISH FLOOR	M.H.W.	= MEAN HIGH WATERLINE
BC	= BOTTOM OF CURB	UV	= UNKNOWN VALVE	M.L.W.	= MEAN LOW WATERLINE
TC	= TOP OF CURB	MH	= MANHOLE	MLW	= MEAN LOW WATERLINE
BGL	= BOLLARD	DEP.	= DEPRESSED WATERLINE	TW	= TOP OF WALL
GRT	= GRATE	CL	= CENTERLINE	BW	= BOTTOM WALL
MB	= MAILBOX	PM	= PARKING METER		



**MASER CONSULTING P.A.**  
Customer Loyalty through Client Satisfaction  
www.maserconsulting.com  
Office Locations:  
NEW JERSEY, NEW YORK, PENNSYLVANIA, VIRGINIA, FLORIDA, NORTH CAROLINA, NEW MEXICO, MARYLAND, GEORGIA, TEXAS, TENNESSEE, COLORADO  
State of N.J. C.O.A.: 24GA27986500

**811** PROTECT YOURSELF  
ALL STATES REQUIRE NOTIFICATION OF EXISTING UTILITIES PRIOR TO ANY WORK PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE  
Know what's below.  
Call before you dig.  
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

REV	DATE	DESCRIPTION

*Jeffrey D. Bunce*  
**JEFFREY D. BUNCE**  
NEW JERSEY PROFESSIONAL  
LAND SURVEYOR - LICENSE NUMBER: GS41045

**EXISTING CONDITIONS PLAN**  
FOR  
**LOT 15.01**  
**BLOCK 13908**  
**PSE&G STEEL**  
**POLE # 12/4-1**  
**LONG HILL TOWNSHIP**  
**MORRIS COUNTY**  
**NEW JERSEY**

**MT. ARLINGTON OFFICE**  
400 Valley Road  
Suite 304  
Mount Arlington, NJ 07856  
Phone: 973.398.3110  
Fax: 973.398.3199

SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	11/11/19	DAP	JDB
PROJECT NUMBER	DRAWING NAME		
19901023A	V-SURV		

**EXISTING CONDITIONS PLAN**  
SHEET NUMBER: **1** of **1**

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.